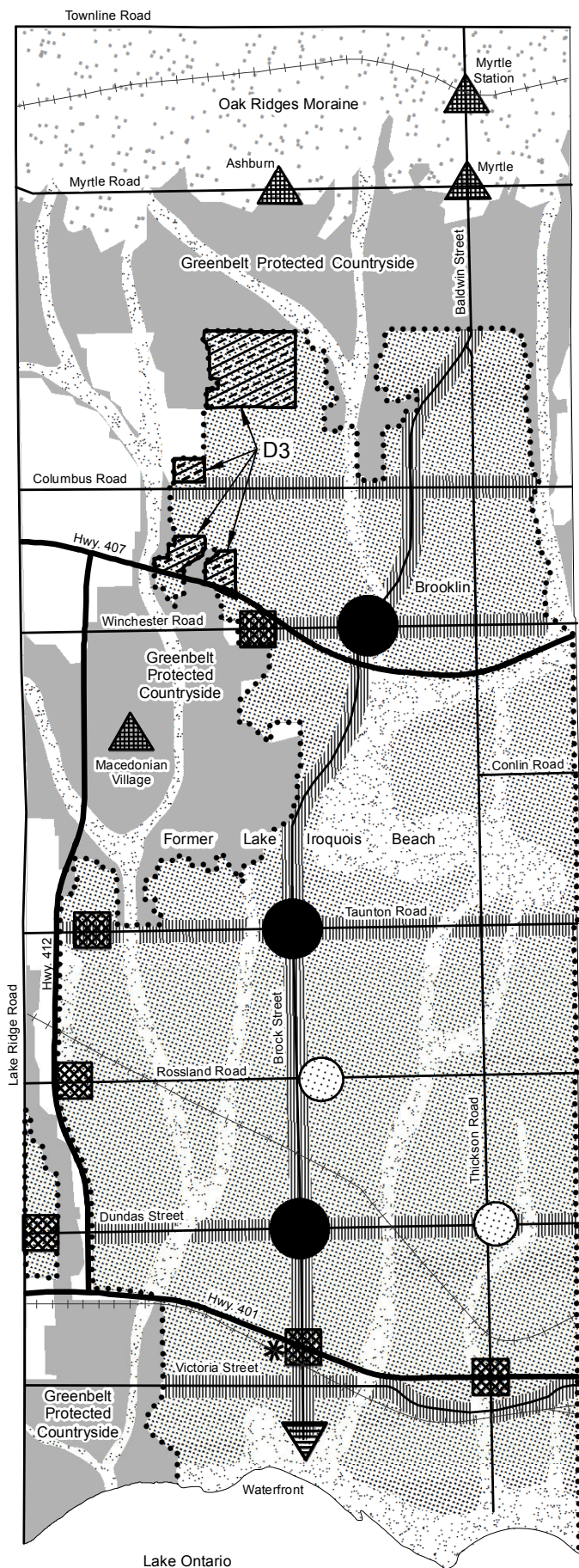




## Legend

- D1 Deferred by the Region of Durham
- Gateways
- Hamlets / Settlements
- Major Transit Station
- Major Central Area / Intensification Area
- Urban Central Area / Intensification Area
- Waterfront Place / Intensification Area
- 2031 Urban Area Boundary
- Agricultural
- Greenbelt Protected Countryside
- Intensification Corridor
- Lands Subject to Durham Regional Official Plan Policy 14.13.7
- Oak Ridges Moraine
- Open Space / Linkages / Conservation
- Urban Area

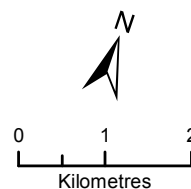
Official Plan - Town of Whitby

Map

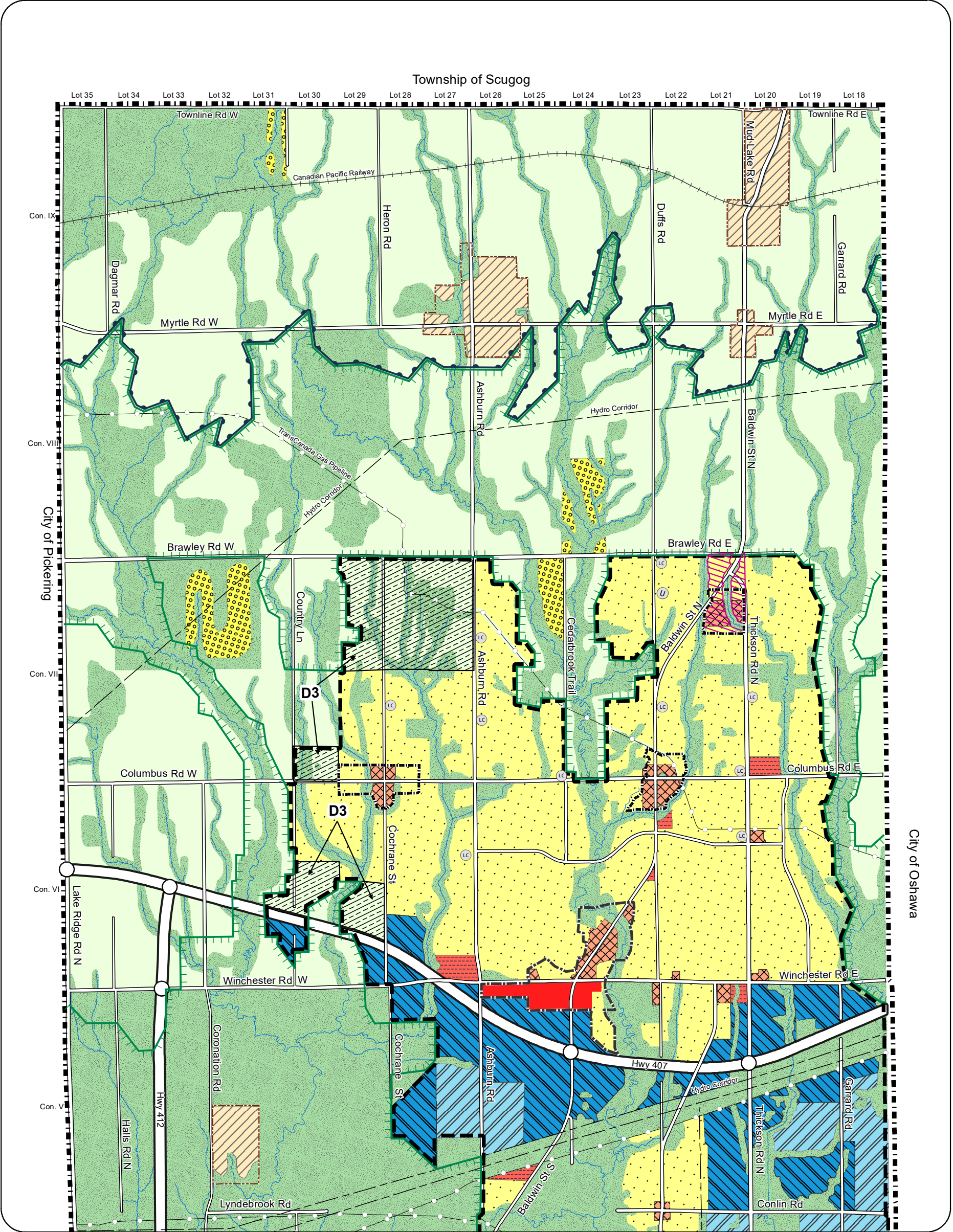
# Municipal Structure

1

**Consolidation Date:**  
December 2024



This map forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this map are to be considered conceptual.



**Legend**

|                            |                                                               |                                   |
|----------------------------|---------------------------------------------------------------|-----------------------------------|
| Residential                | Lands Subject to Durham Regional Official Plan Policy 14.13.7 | D3 (Deferred by Region of Durham) |
| Major Commercial           | Special Policy Area Refer to section 11.4.31.6                |                                   |
| Community Commercial       | D Deferred by the Region of Durham                            |                                   |
| Special Purpose Commercial | Local Central Area                                            |                                   |
| Mixed Use                  | Resource Extraction Area (See Section 4.12)                   |                                   |
| Prestige Industrial        | Utility                                                       |                                   |
| General Industrial         | Hydro Corridor                                                |                                   |
| Special Activity Node      | Major Central Area Boundary                                   | Hamlet Boundary                   |
| Institutional              | Urban Central Area Boundary                                   | 2031 Urban Area Boundary          |
| Major Open Space           | Community Central Area Boundary                               | Municipal Boundary                |
| Agricultural               | Future Urban Development Area Boundary                        |                                   |
| Hamlet                     | Greenbelt Protected Countryside Boundary                      |                                   |
| Estate Residential         | Southern Boundary of Oak Ridges Moraine                       |                                   |

**Notes:** Refer to the applicable Secondary Plan for more detailed land use designations. Secondary Plan boundaries can be found on Schedule 'E', including the Oak Ridges Moraine Secondary Plan. Some legend items may not appear on the displayed figure extent.

Scugog

Sheet  
1 of 2

Sheet  
2 of 2

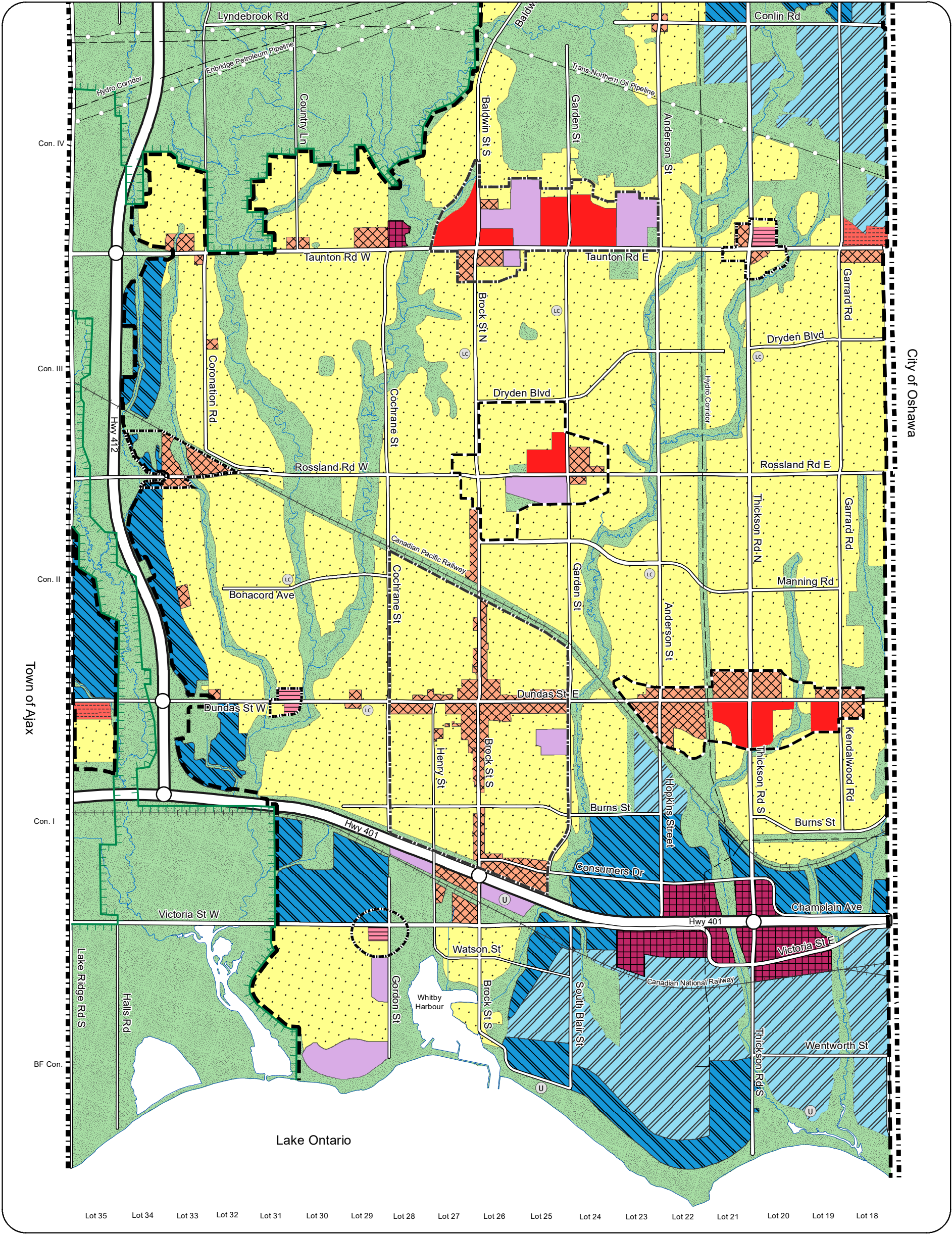
Lake Ontario

**Official Plan - Town of Whitby Schedule A**

**Land Use**

0 500 1,000  
Metres

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.



**Legend**

- Residential
- Major Commercial
- Community Commercial
- Special Purpose Commercial
- Mixed Use
- Prestige Industrial
- General Industrial
- Special Activity Node
- Institutional
- Major Open Space
- Agricultural
- Hamlet
- Estate Residential

- Lands Subject to Durham Regional Official Plan Policy 14.13.7
- Special Policy Area Refer to section 11.4.31.6
- D Deferred by the Region of Durham
- LC Local Central Area
- Resource Extraction Area (See Section 4.12)
- Utility
- Hydro Corridor
- Major Central Area Boundary
- Urban Central Area Boundary
- Community Central Area Boundary
- Future Urban Development Area Boundary
- Greenbelt Protected Countryside Boundary
- Southern Boundary of Oak Ridges Moraine

- D3 (Deferred by Region of Durham)
- Hamlet Boundary
- 2031 Urban Area Boundary
- Municipal Boundary

**Notes:** Refer to the applicable Secondary Plan for more detailed land use designations. Secondary Plan boundaries can be found on Schedule "E", including the Oak Ridges Moraine Secondary Plan. Some legend items may not appear on the displayed figure extent.

Scugog

Pickering

Oshawa

Lake Ontario

Sheet 1 of 2

Sheet 2 of 2

Official Plan - Town of Whitby Schedule

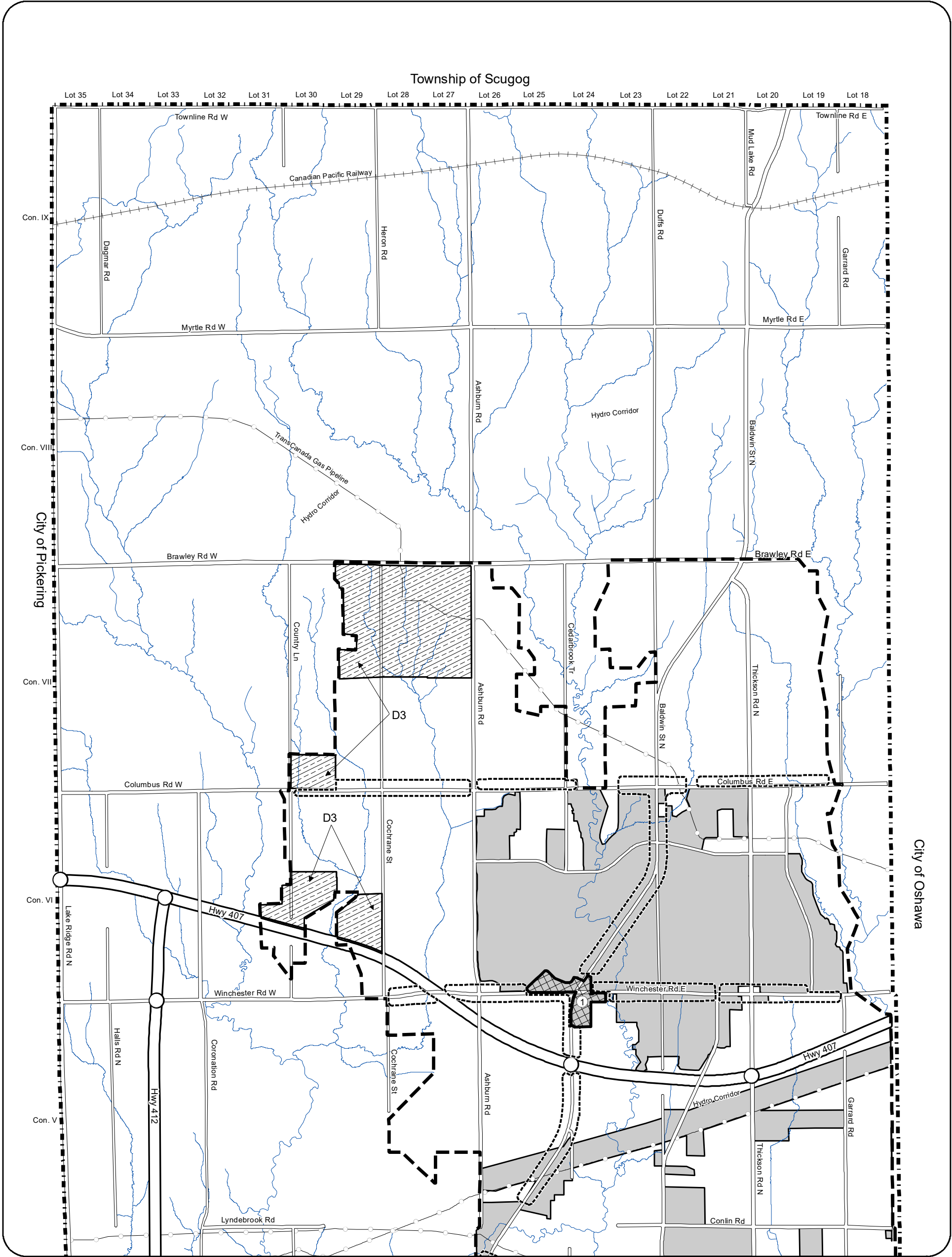
Land Use

A

0 500 1,000

Metres

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.



**Legend**

Mature Neighbourhoods - Under Appeal - OLT-23-000616

Built Boundary (2006)

Intensification Area

Intensification Corridor

Lands Subject to Durham Regional Official Plan Policy 14.13.7

D3 (Deferred by Region of Durham)

D Deferred by the Region of Durham

Major Transit Station

2031 Urban Area Boundary

Municipal Boundary

**Intensification Areas:**

- 1 Downtown Brooklin
- 2 Brock / Taunton
- 3 Rossland / Garden
- 4 Downtown Whitby
- 5 Dundas East
- 6 Port Whitby

**Note:** Some legend items may not appear on the displayed figure extent.

Scugog

Pickering

Ajax

Oshawa

Lake Ontario

Sheet 1 of 2

Sheet 2 of 2

Official Plan - Town of Whitby

Schedule

**B**

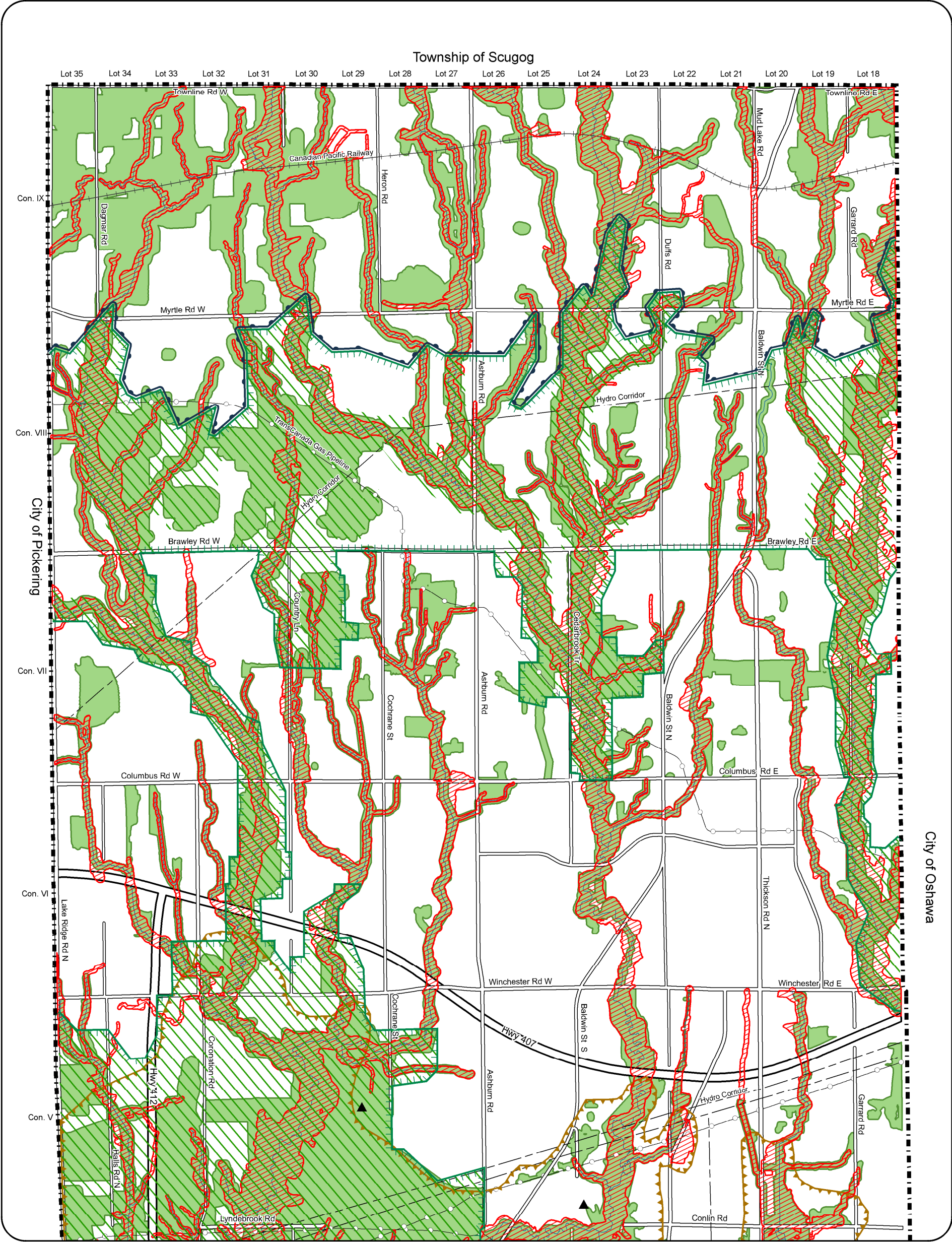
**Intensification**

Consolidation Date:  
December 2024

0 500 1,000  
Metres

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.





**Legend**

- Natural Heritage System
- Natural Hazards
- Greenbelt Natural Heritage System
- Former Lake Iroquois Beach
- ▲ Former Waste Disposal Site    ← D12 (Deferred by Region of Durham)
- 1 km Lake Ontario Shoreline Limit
- Southern Boundary of Oak Ridges Moraine
- Greenbelt Protected Countryside Boundary
- Municipal Boundary

Note: Some legend items may not appear on the displayed figure extent.

Scugog

Pickering

Ajax

Oshawa

Sheet 1 of 2

Sheet 2 of 2

Lake Ontario

Official Plan - Town of Whitby

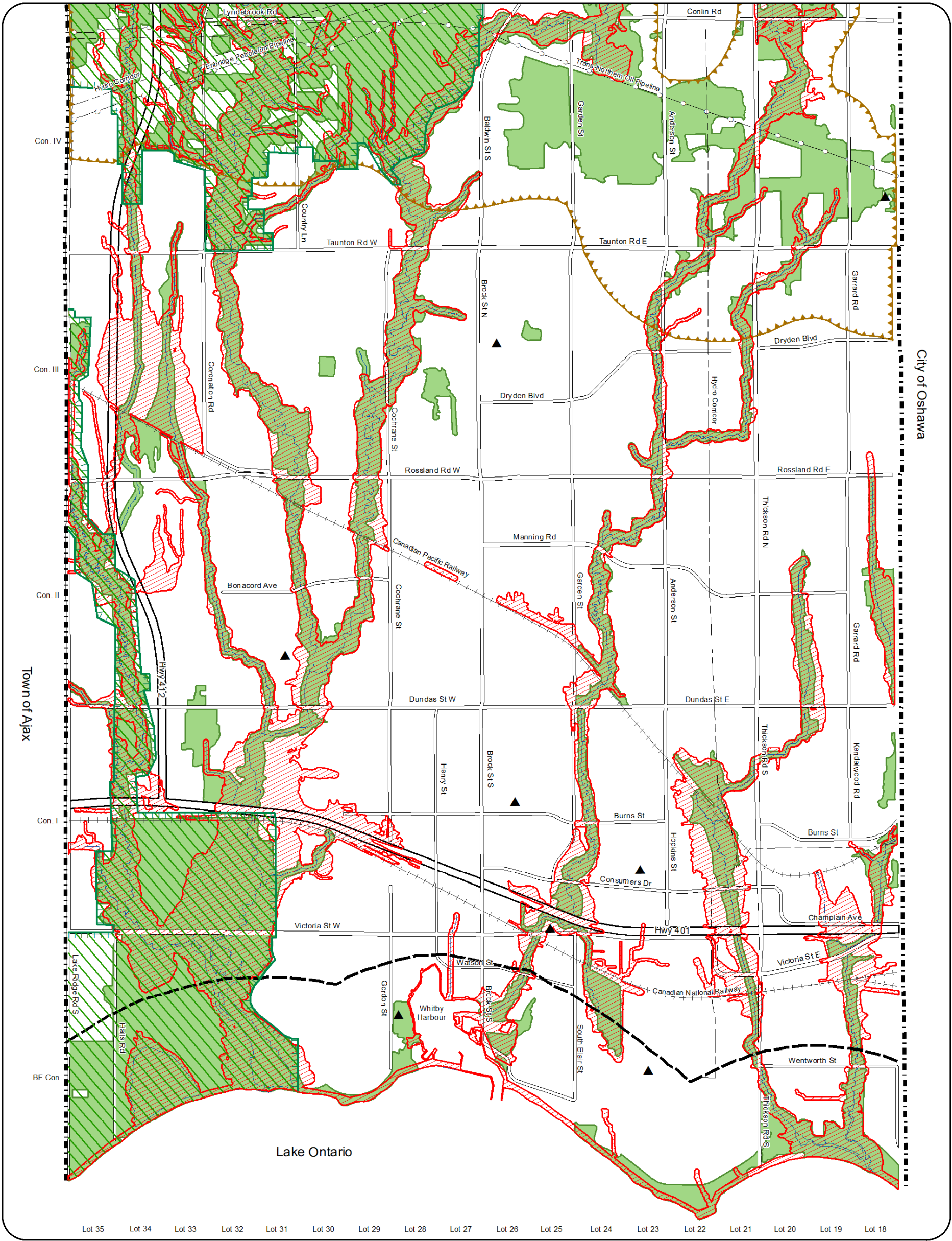
**Environmental Management**

Schedule **C**

Consolidation Date: December 2024

0 500 1,000 Metres

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.



**Legend**

- Natural Heritage System
- Natural Hazards
- Greenbelt Natural Heritage System
- Former Lake Iroquois Beach
- Former Waste Disposal Site
- D12 (Deferred by Region of Durham)
- 1 km Lake Ontario Shoreline Limit
- Southern Boundary of Oak Ridges Moraine
- Greenbelt Protected Countryside Boundary
- Municipal Boundary

Note: Some legend items may not appear on the displayed figure extent.

Scugog

Pickering

Ajax

Oshawa

Lake Ontario

Sheet 1 of 2

Sheet 2 of 2

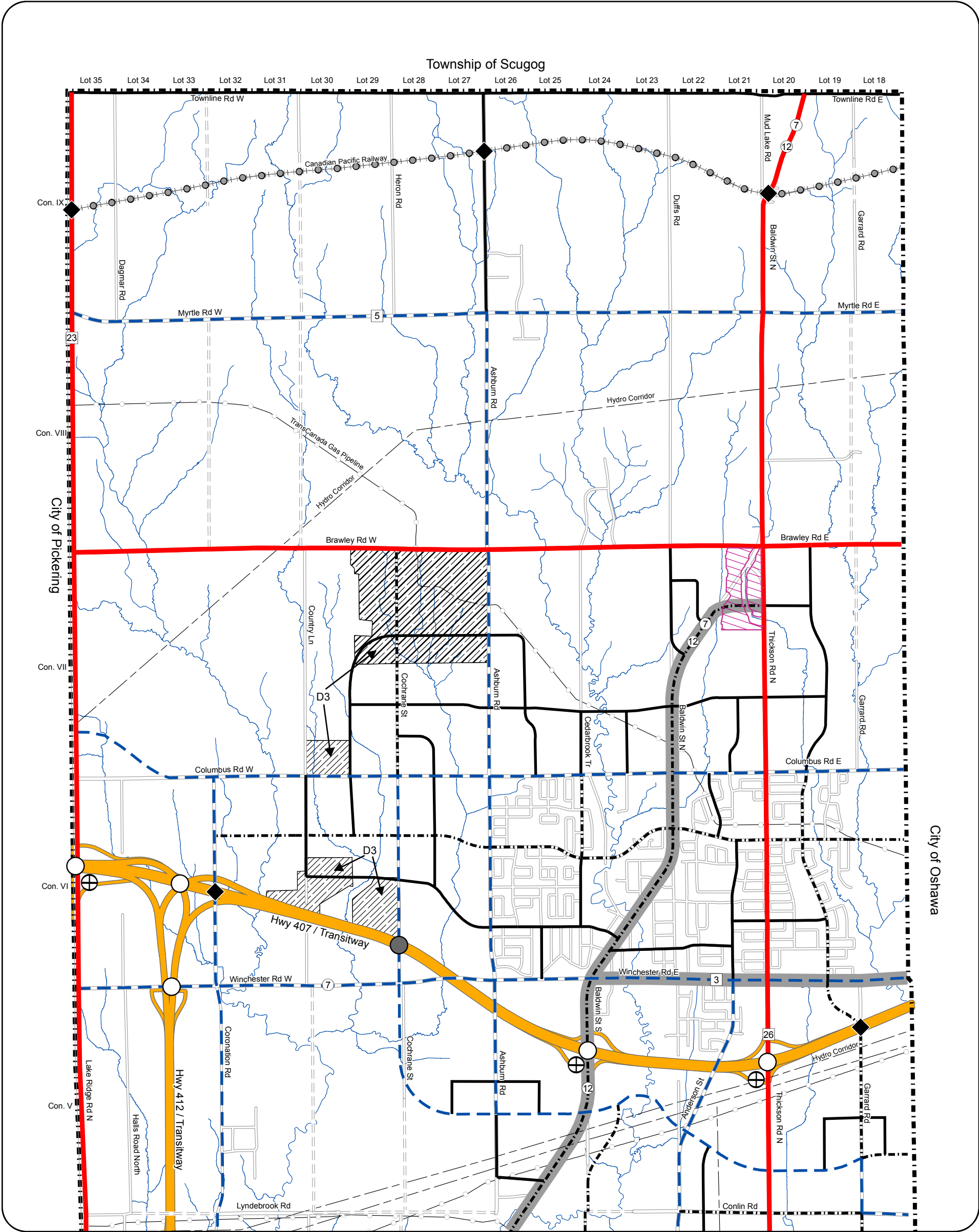
Official Plan - Town of Whitby

**Environmental Management**

Schedule **C**

Consolidation Date: December 2024

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.



**Legend**

- Existing Interchange
- Proposed Interchange
- Proposed Grade Separation
- Hydro Corridor
- Municipal Boundary
- Pipeline Corridor
- Railway Corridor

**Transit:**

- Future Transitway Station
- Major Transit Station
- Commuter Rail
- Future Commuter Rail
- Transit Spine

**Road Network:**

- Provincial Highway
- Regional Road
- Controlled Access Highway (Freeway)
- Type A Arterial Road
- Type B Arterial Road
- Type C Arterial Road
- Collector Road
- Local Road
- Unopened Road Allowance

**Other:**

- Lands Subject to Durham Regional Official Plan Policy 14.13.7
- Special Policy Area Refer to section 11.4.31.6
- D3 (Deferred by Region of Durham)

**Note:** Refer to Section 8.1.3.1.6 regarding alternative route to Baldwin Street for goods and people movement.

**Note:** Some legend items may not appear on the displayed figure extent.

Scugog

Pickering

Oshawa

Ajax

Lake Ontario

Sheet 1 of 2

Sheet 2 of 2

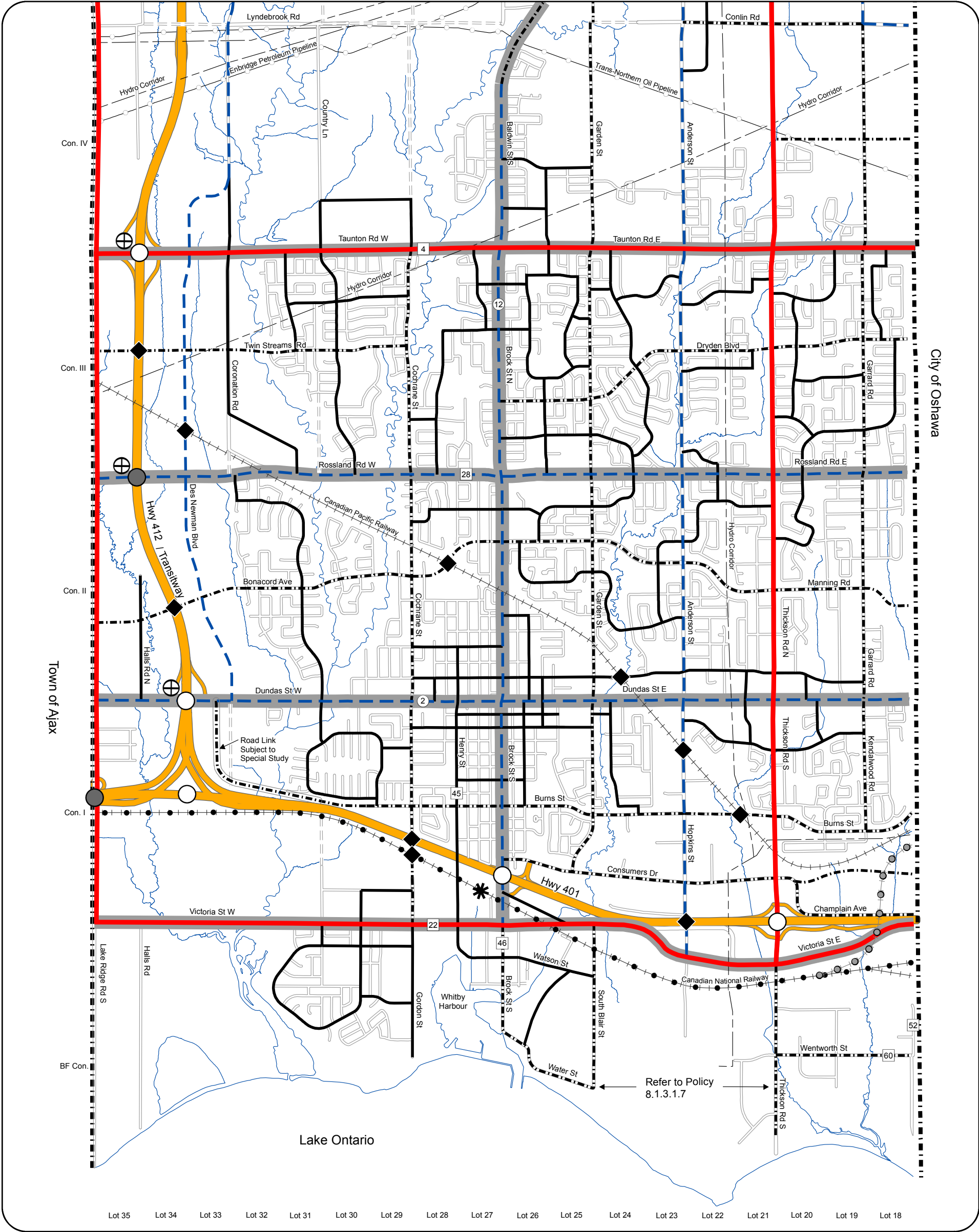
Official Plan - Town of Whitby

Schedule

**D**

Consolidation Date: December 2024

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.



**Legend**

- Existing Interchange
- Proposed Interchange
- Proposed Grade Separation
- Hydro Corridor
- Municipal Boundary
- Pipeline Corridor
- Railway Corridor

**Transit:**

- Future Transitway Station
- Major Transit Station
- Commuter Rail
- Future Commuter Rail
- Transit Spine

**Note:** Some legend items may not appear on the displayed figure extent.

- Lands Subject to Durham Regional Official Plan Policy 14.13.7
- Special Policy Area Refer to section 11.4.31.6

**Road Network:**

**Note:** Refer to Section 8.1.3.1.6 regarding alternative route to Baldwin Street for goods and people movement.

- Provincial Highway
- Regional Road
- Controlled Access Highway (Freeway)
- Type A Arterial Road
- Type B Arterial Road
- Type C Arterial Road
- Collector Road
- Local Road
- Unopened Road Allowance

D3 (Deferred by Region of Durham)

Scugog

Pickering

Oshawa

Ajax

Lake Ontario

Sheet 1 of 2

Sheet 2 of 2

Official Plan - Town of Whitby

Schedule

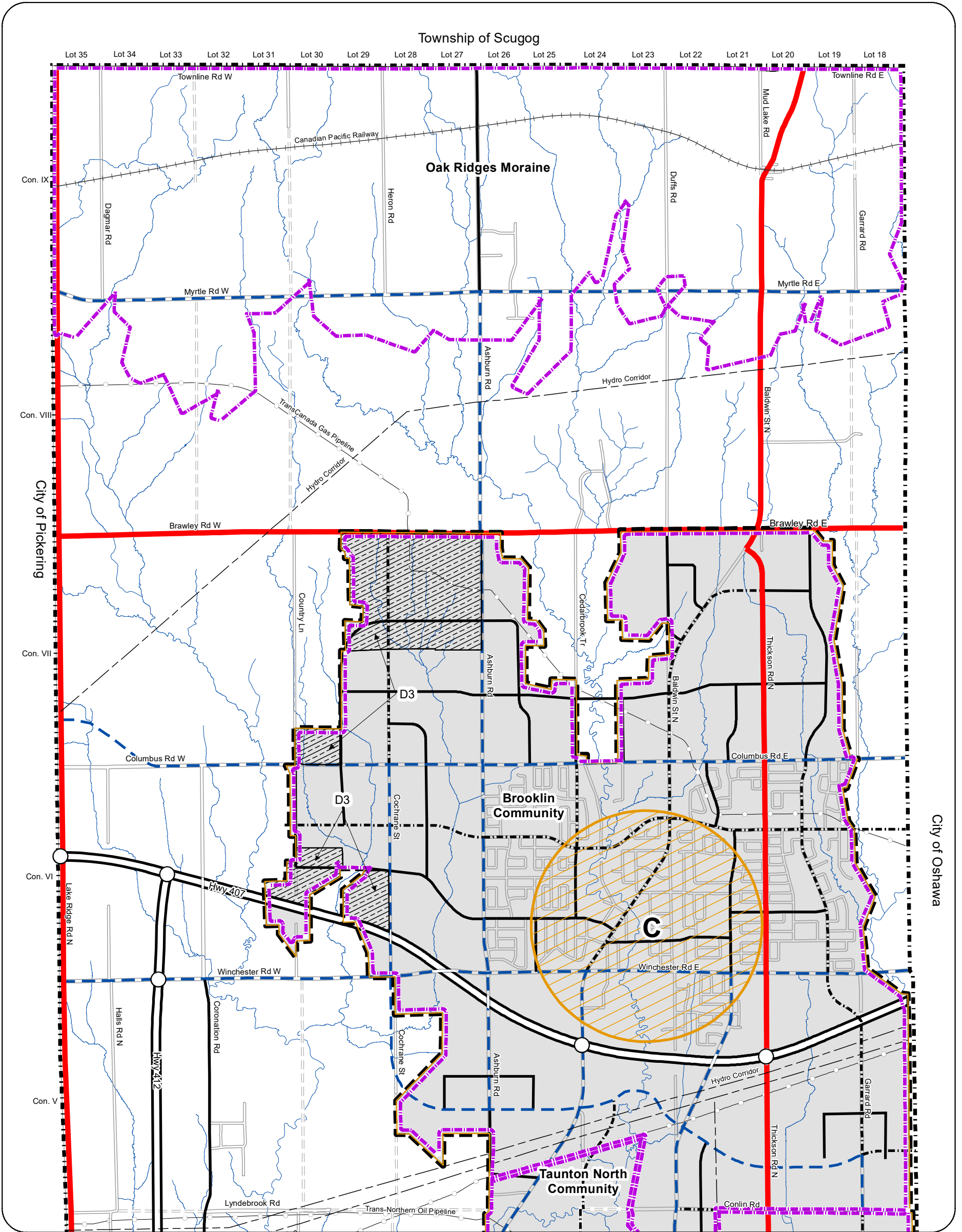
D

Transportation

Consolidation Date: December 2024

0 500 1,000 Metres

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.



Legend

-  Community Improvement Areas A to D
-  Community Improvement Area E
-  Lands Subject to Durham Regional Official Plan Policy 14.13.7
-  Deferred by the Region of Durham
-  Secondary Plan Boundary
-  2031 Urban Area Boundary
-  Municipal Boundary

Note: Some legend items may not appear on the displayed figure extent.

Scugog

Sheet  
1 of 2

Sheet  
2 of 2

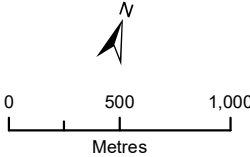
Lake Ontario

Official Plan - Town of Whitby

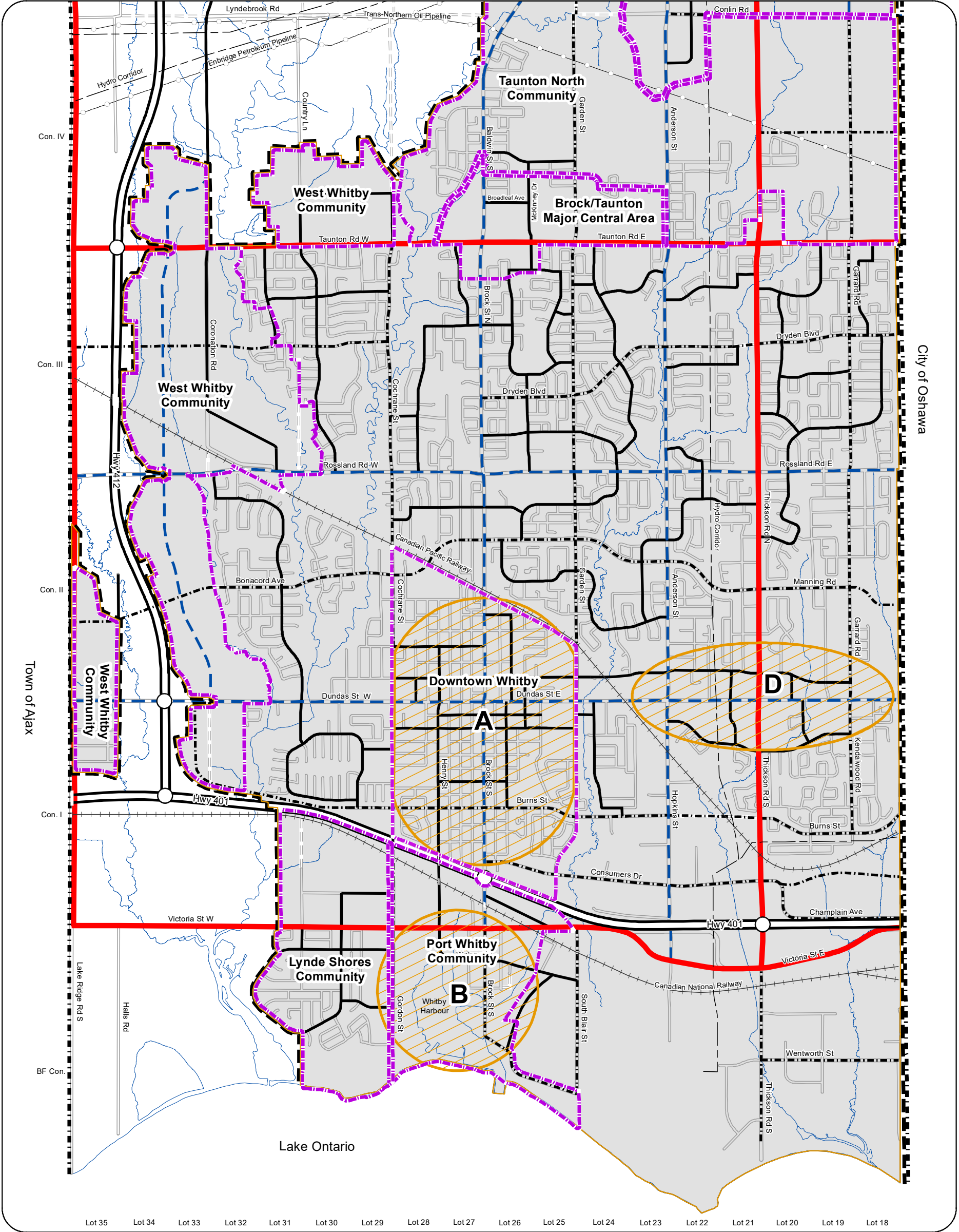
Secondary Plans  
and Community  
Improvement Areas

Schedule

E



This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.



**Legend**

- Community Improvement Areas A to D
- Community Improvement Area E
- Lands Subject to Durham Regional Official Plan Policy 14.13.7
- Deferred by the Region of Durham
- Secondary Plan Boundary
- 2031 Urban Area Boundary
- Municipal Boundary

**Note:** Some legend items may not appear on the displayed figure extent.

Scugog

Pickering

Oshawa

Ajax

Lake Ontario

Sheet 1 of 2

Sheet 2 of 2

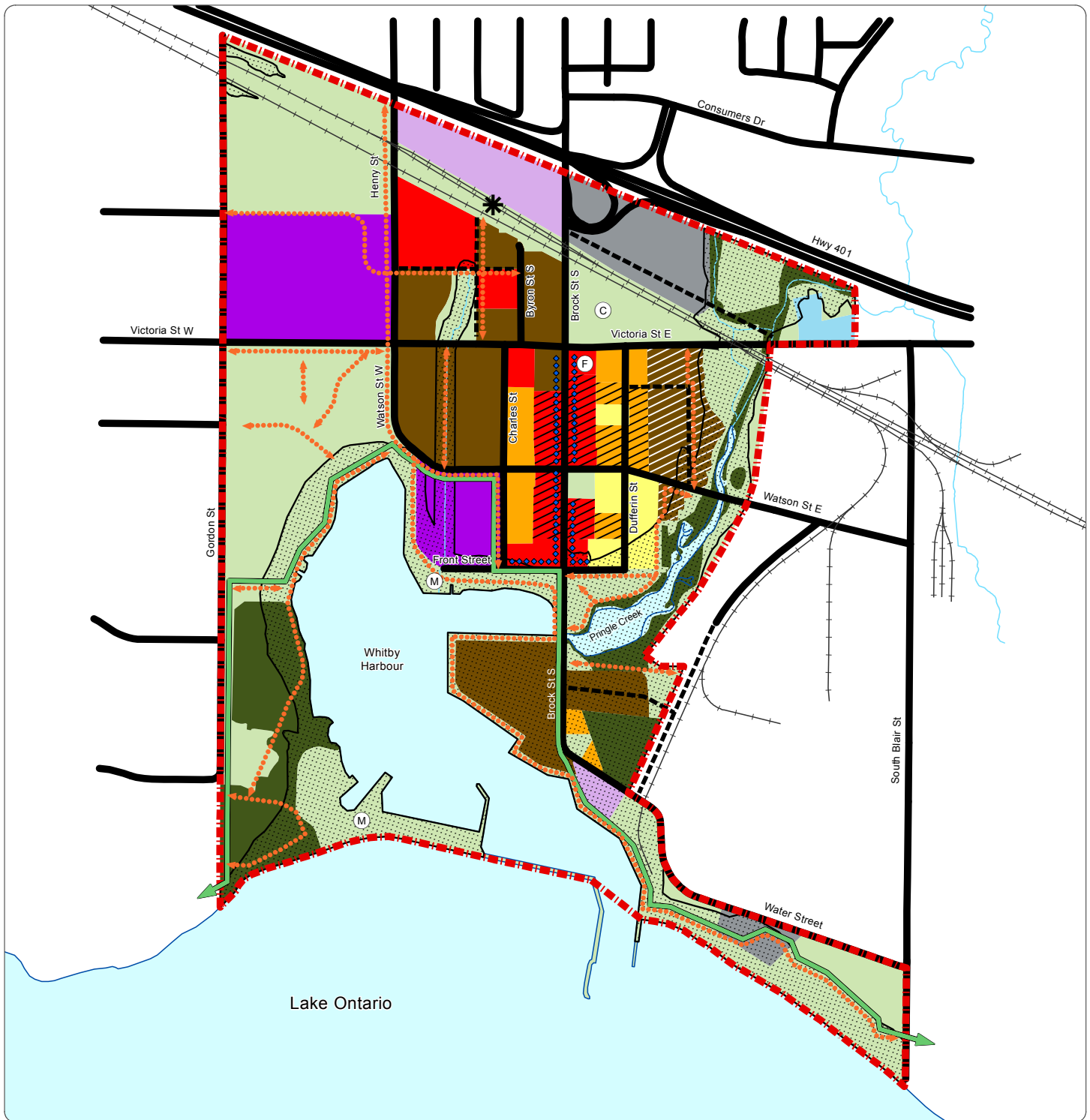
Official Plan - Town of Whitby

Secondary Plans and Community Improvement Areas

Schedule **E**

0 500 1,000 Metres

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text. For all intents and purposes, the elements within this schedule are to be considered conceptual.



## Legend

- |  |                                    |  |                                             |
|--|------------------------------------|--|---------------------------------------------|
|  | Boundary of Port Whitby Community  |  | Major Open Space                            |
|  | Low Density Residential            |  | Natural Hazard Area                         |
|  | Medium Density Residential One     |  | Environmental Protection Area               |
|  | Medium Density Residential Two     |  | Cemetery                                    |
|  | Mixed Use Residential One          |  | Marina                                      |
|  | Mixed Use Residential Two          |  | Fire Station                                |
|  | High Density Residential Mixed Use |  | Major Transit System                        |
|  | High Density Residential           |  | Proposed Roads                              |
|  | Community / Institutional          |  | Existing Road Network                       |
|  | Commercial                         |  | Active Transportation Network / Connections |
|  | Utilities                          |  | Waterfront Trail (Improved)                 |
|  | Prestige Industrial                |  | Ground Floor Animation                      |

# PORT WHITBY COMMUNITY SECONDARY PLAN



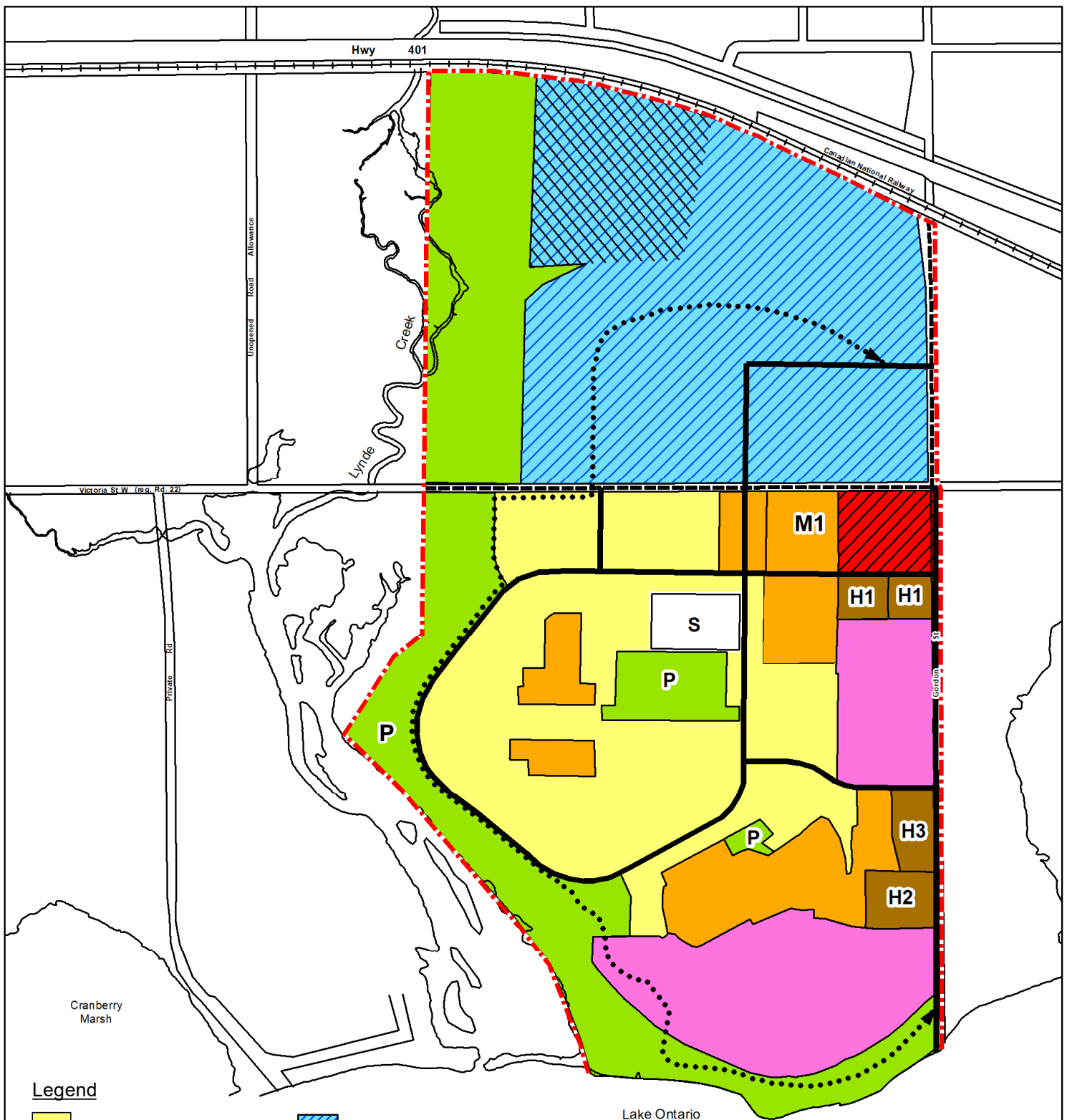
**Official Plan**  
Town of Whitby

Schedule

**F**

**Consolidation Date:**  
December 2024

0 50 100 200  
Metres



### Legend

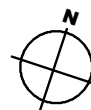
|  |                              |  |                      |
|--|------------------------------|--|----------------------|
|  | Low Density Residential      |  | Business Park        |
|  | Medium Density Residential   |  | Hazard               |
|  | Medium Density Residential 1 |  | Arterial Road        |
|  | High Density Residential 1   |  | Collector Road       |
|  | High Density Residential 2   |  | Lynde Shore Boundary |
|  | High Density Residential 3   |  | Pedestrian Walkways  |
|  | Institutional                |  | Park                 |
|  | Major Open Space/Park        |  | Elementary School    |
|  | Community Commercial         |  |                      |

## Lynde Shores Secondary Plan Official Plan

Schedule

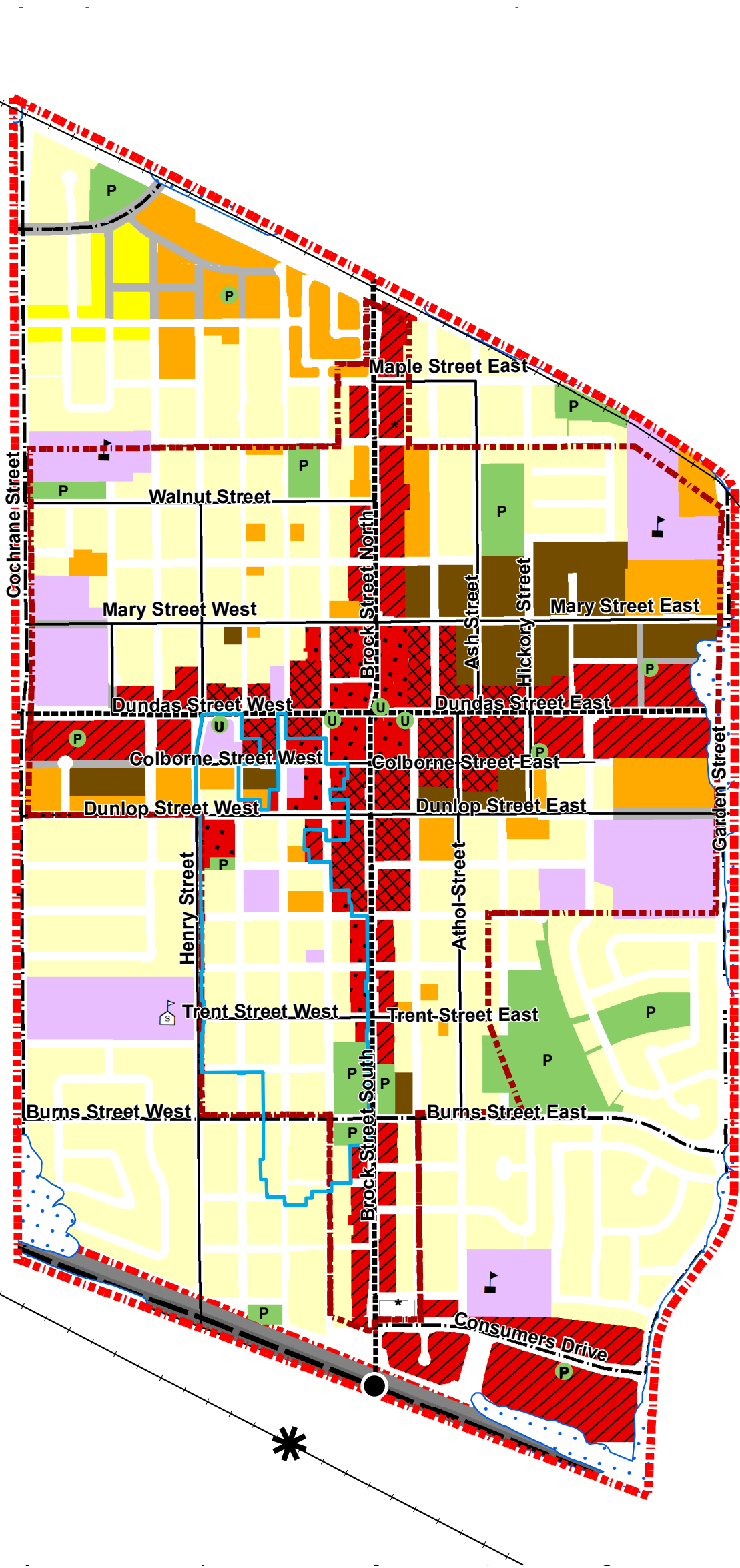
**G**

Town of Whitby



This Schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text

100 0 100 200 300  
m



**Legend**

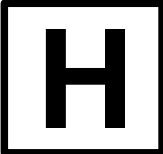
- |  |                                                            |  |                                  |
|--|------------------------------------------------------------|--|----------------------------------|
|  | Secondary Plan Area Boundary                               |  | Low Density Mature Neighbourhood |
|  | Major Central Area Boundary                                |  | Low Density Residential          |
|  | Werden's Plan Neighbourhood Heritage Conservation District |  | Medium Density Residential       |
|  | Natural Hazards                                            |  | High Density Residential         |
|  |                                                            |  | Downtown Mixed Use Area          |
|  |                                                            |  | Corridor Mixed Use Area          |
|  |                                                            |  | Heritage Mixed Use Area          |
|  |                                                            |  | Institutional                    |
|  |                                                            |  | Existing Park & Open Space       |

- |  |                       |  |                     |
|--|-----------------------|--|---------------------|
|  | Proposed Park         |  | Urban Square        |
|  | Elementary Schools    |  | Secondary Schools   |
|  | Type B Arterial       |  | Type C Arterial     |
|  | Collector Road        |  | Proposed Connection |
|  | Railway               |  | Full Interchange    |
|  | Major Transit Station |  |                     |

**Downtown Whitby Community  
Secondary Plan  
Land Use**

**Official Plan  
Town of Whitby**

Schedule



Consolidation Date:  
December 2024



0 100 200 400 600  
Metres



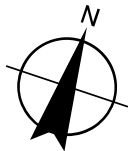
# Downtown Whitby Community Secondary Plan Building Height

## Legend

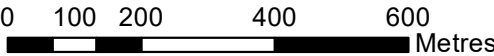
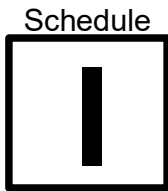
 Secondary Plan Area Boundary

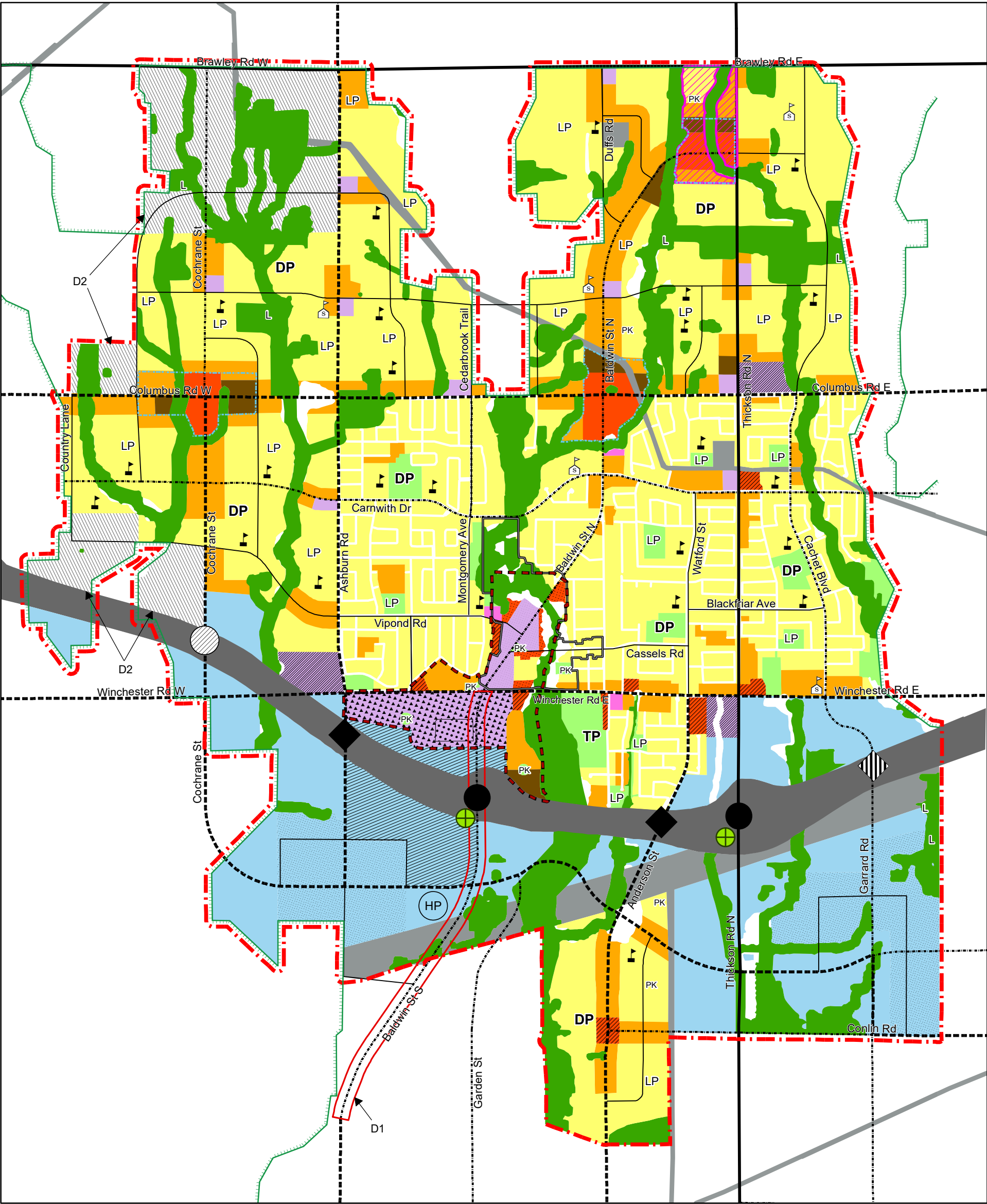
### Maximum Building Height

|                                                                                               |                                                                                               |
|-----------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------|
|  2 Storeys |  5 Storeys |
|  3 Storeys |  6 Storeys |
|  4 Storeys |  8 Storeys |



**Official Plan**  
**Town of Whitby**





LEGEND:

- |                                      |                                                               |                                                  |                                                  |
|--------------------------------------|---------------------------------------------------------------|--------------------------------------------------|--------------------------------------------------|
| Low Density Residential              | General Industrial                                            | Natural Heritage System                          | Controlled Access Highway (Freeway)              |
| Medium Density Residential           | Lands subject to Durham Regional Official Plan Policy 14.13.7 | Linkage in NHS                                   | Type A Arterial                                  |
| High Density Residential             | Major Open Space                                              | Deferred by the Region of Durham                 | Type B Arterial                                  |
| Local Commercial                     | District Park                                                 | Natural Hazards                                  | Type C Arterial                                  |
| Special Purpose Commercial           | Local Park                                                    | Utility                                          | Collector Road                                   |
| Heritage Commercial                  | Parkette                                                      | Health Precinct Special Policy Area              | Greenbelt Plan Boundary                          |
| Major Commercial                     | Town Park                                                     | Community Central Area                           | Full Interchange                                 |
| Mixed-Use 1 - Community Central Area | Institutional                                                 | Major Central Area                               | Potential Interchange (Subject to Further Study) |
| Mixed-Use 2 - HCD                    | Secondary Schools                                             | Heritage Conservation District Boundary          | Grade Separation                                 |
| Mixed-Use 3                          | Elementary Schools                                            | Secondary Plan Boundary                          | Potential Grade Separation                       |
| Prestige Industrial                  |                                                               | Special Policy Area - Refer to Section 11.5.31.6 | Future Transitway Station                        |
| Business Park                        |                                                               |                                                  |                                                  |

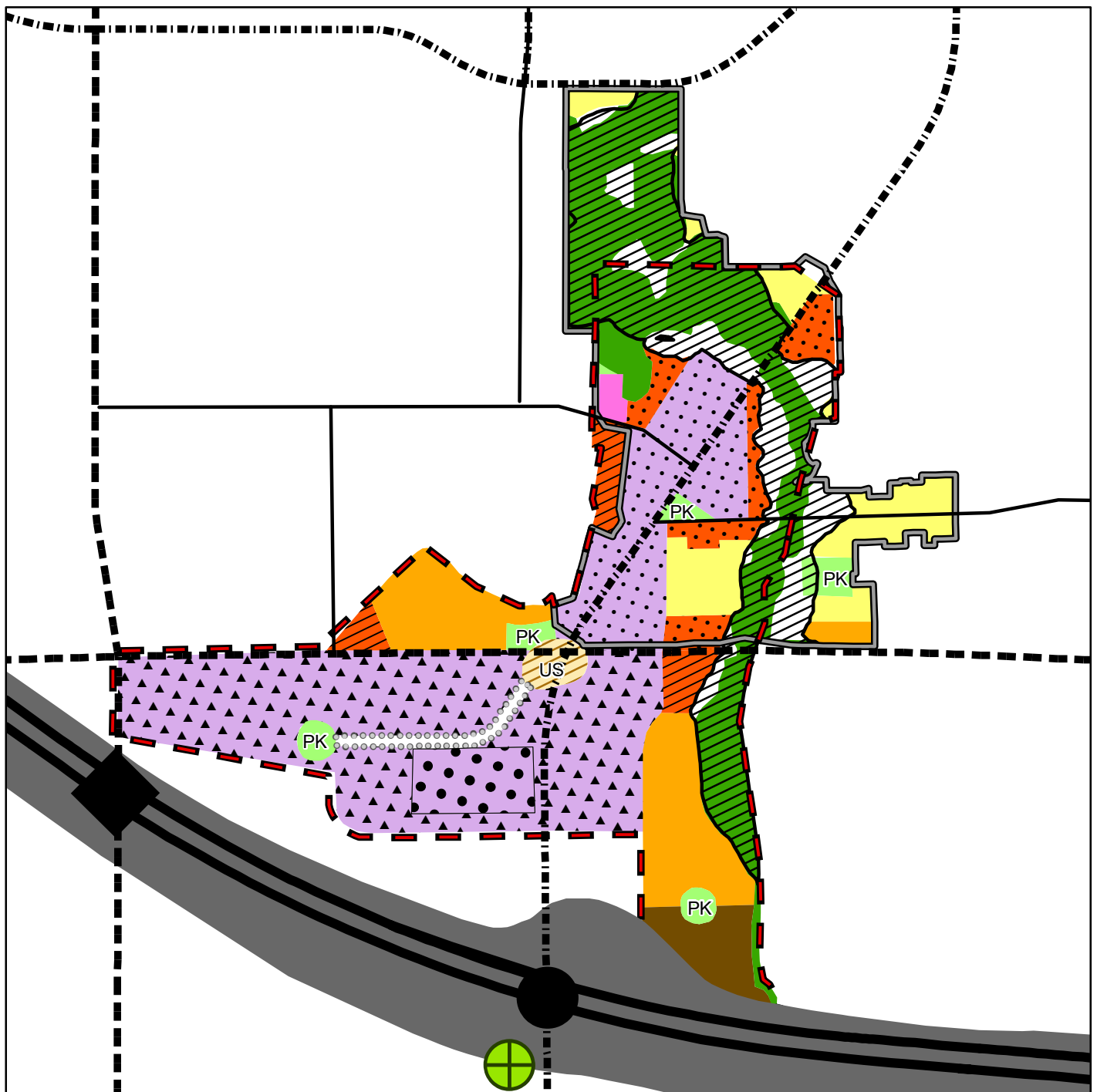
Brooklin  
Community  
Secondary Plan  
Official Plan Schedule J  
Town of Whitby

Consolidation Date:  
December 2024



0 125 250 500 750 1,000  
Metres

This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text.



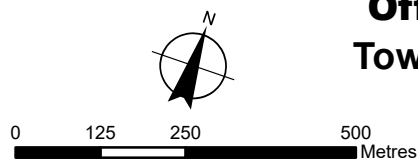
## Legend

- |                            |                                                  |                                     |
|----------------------------|--------------------------------------------------|-------------------------------------|
| Low Density Residential    | Natural Hazards                                  | Controlled Access Highway (Freeway) |
| Medium Density Residential | Parkette                                         | Full Interchange                    |
| High Density Residential   | Urban Square                                     | Grade Separation                    |
| Heritage Commercial        | Institutional                                    | Future Transitway Station           |
| Major Commercial           | Major Central Area                               |                                     |
| Major Commercial -1        | Heritage Conservation District Boundary          |                                     |
| Mixed-Use 2 - HCD          | Pedestrian Promenade with Ground Floor Animation |                                     |
| Mixed-Use 3                | Type A Arterial                                  |                                     |
| Major Open Space           | Type B Arterial                                  |                                     |
| Natural Heritage System    | Type C Arterial                                  |                                     |
|                            | Collector Road                                   |                                     |

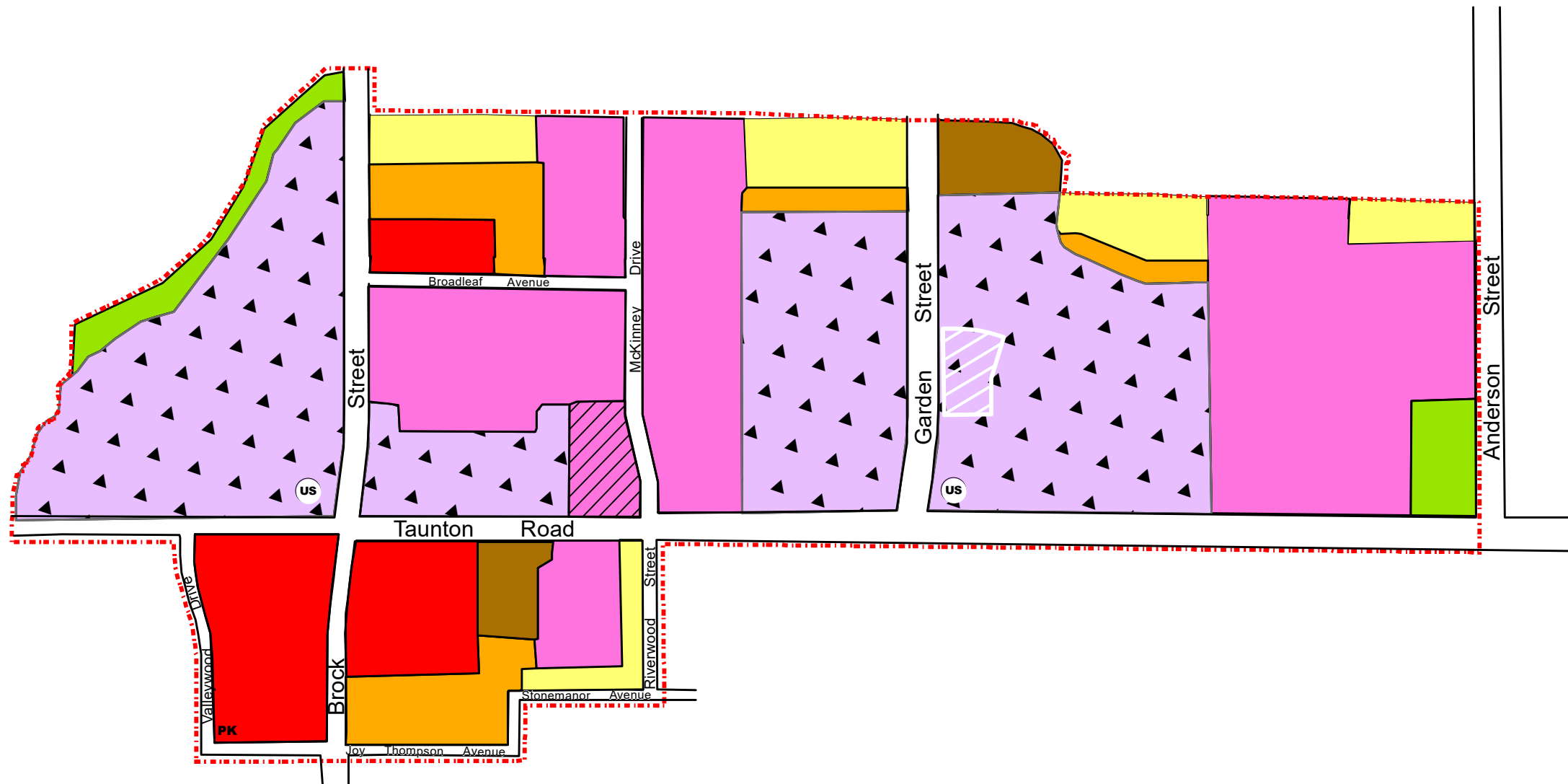
## Downtown Brooklin Major Central Area Brooklin Community Secondary Plan

Official Plan  
Town of Whitby

Schedule  
**J1**



This schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text.



**Legend:**

|                                                                                     |                            |                                                                                     |                                  |
|-------------------------------------------------------------------------------------|----------------------------|-------------------------------------------------------------------------------------|----------------------------------|
|  | Low Density Residential    |  | Major Commercial                 |
|  | Medium Density Residential |  | Major Commercial - 1             |
|  | High Density Residential   |  | Corporate Office / Institutional |
|  | Mixed Use                  |  | Institutional                    |

|                                                                                       |                                             |
|---------------------------------------------------------------------------------------|---------------------------------------------|
|  | Major Open Space                            |
|  | Secondary Plan Boundary                     |
| <b>MU</b>                                                                             | Mixed Use Special Policy<br>(refer to text) |

|                                                                                       |              |
|---------------------------------------------------------------------------------------|--------------|
| <b>PK</b>                                                                             | Parkette     |
|  | Urban Square |

This Schedule forms part of the Official Plan of the Town of Whitby and must be read in conjunction with the written text

**Brock/Taunton  
Major Central Area  
Secondary Plan**

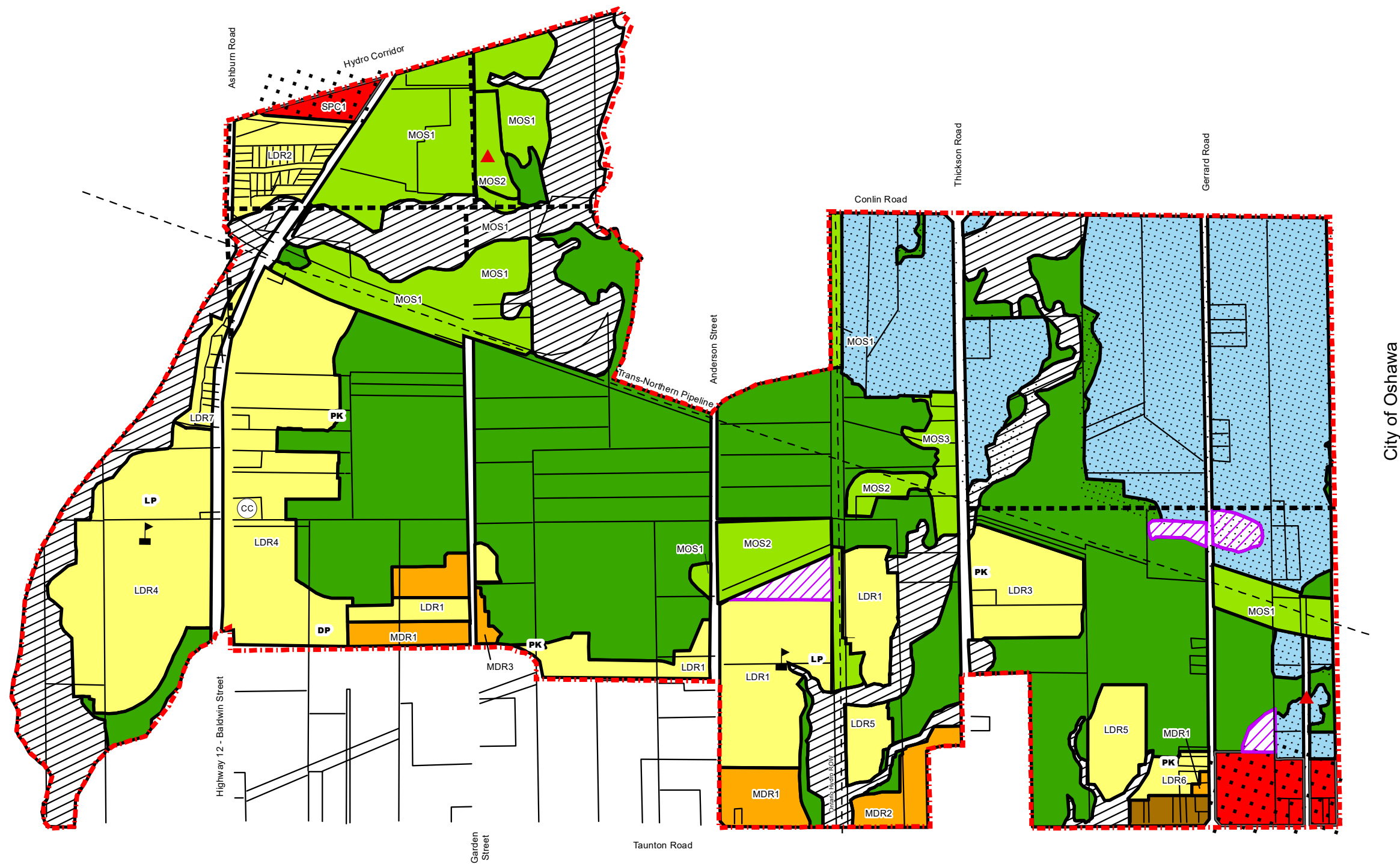
**Official Plan**  
Town of Whitby

Schedule **K**



60 0 60 120  
m

**Consolidation Date:**  
December 2024



Legend

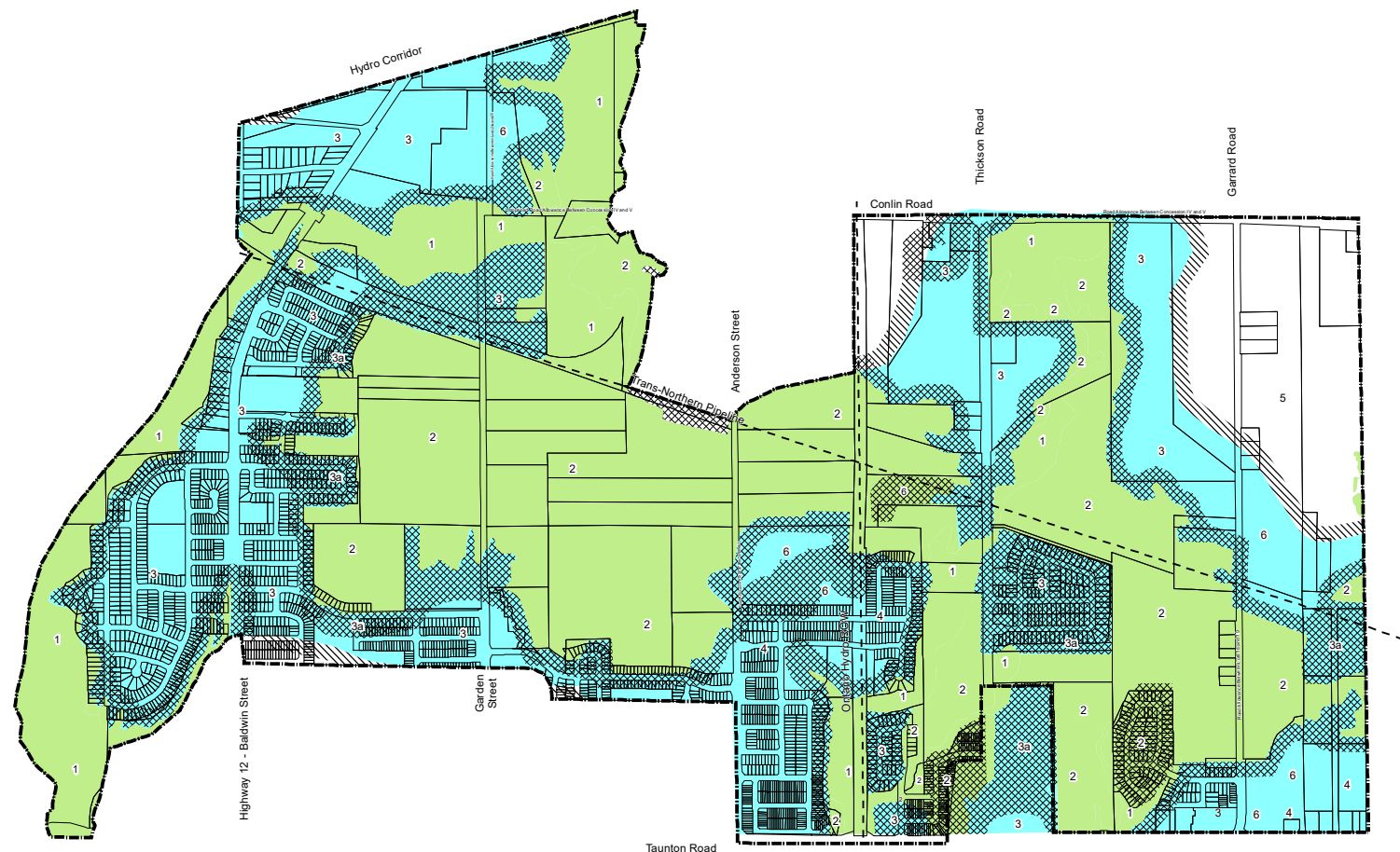
- |                                                     |                                                     |                               |                                                                  |                        |                         |
|-----------------------------------------------------|-----------------------------------------------------|-------------------------------|------------------------------------------------------------------|------------------------|-------------------------|
| Low Density Residential (LDR)<br>(refer to text)    | General Industrial                                  | Natural Hazard (NH)           | Former Waste Disposal Site<br>D12 (Deferred by Region of Durham) | District Park          | Secondary Plan Boundary |
| Medium Density Residential (MDR)<br>(refer to text) | Special Purpose Commercial (SPC)<br>(refer to text) | Natural Heritage System (NHS) | Public Elementary School                                         | Local Park             | Utility Corridors       |
| High Density Residential                            | Major Open Space (MOS)<br>(refer to text)           | Special Policy Area (SPA)     | Seperate Elementary School                                       | Parkette               | Proposed Collector Road |
|                                                     |                                                     |                               |                                                                  | Convenience Commercial | Proposed Arterial Road  |

Taunton North Community  
Secondary Plan

Official Plan  
Town of Whitby

Schedule





# Legend

Environmental Sensitivity:

- High
  - Unit 1 - Valley Corridors
  - Unit 2 - Core Woodland
  - Unit 3, 3a - Major Groundwater Resource
  - Unit 4 - Moderate Groundwater Resource
- Low
  - Unit 5 - Non-Forested Glacial Till



Unit 6 - Fill Areas



Zone- 1 (Requires Full Environmental Impact Study (E.I.S.))



Zone- 2 (Requires Scoped Environmental Impact Study (E.I.S.))

Study Area Boundary

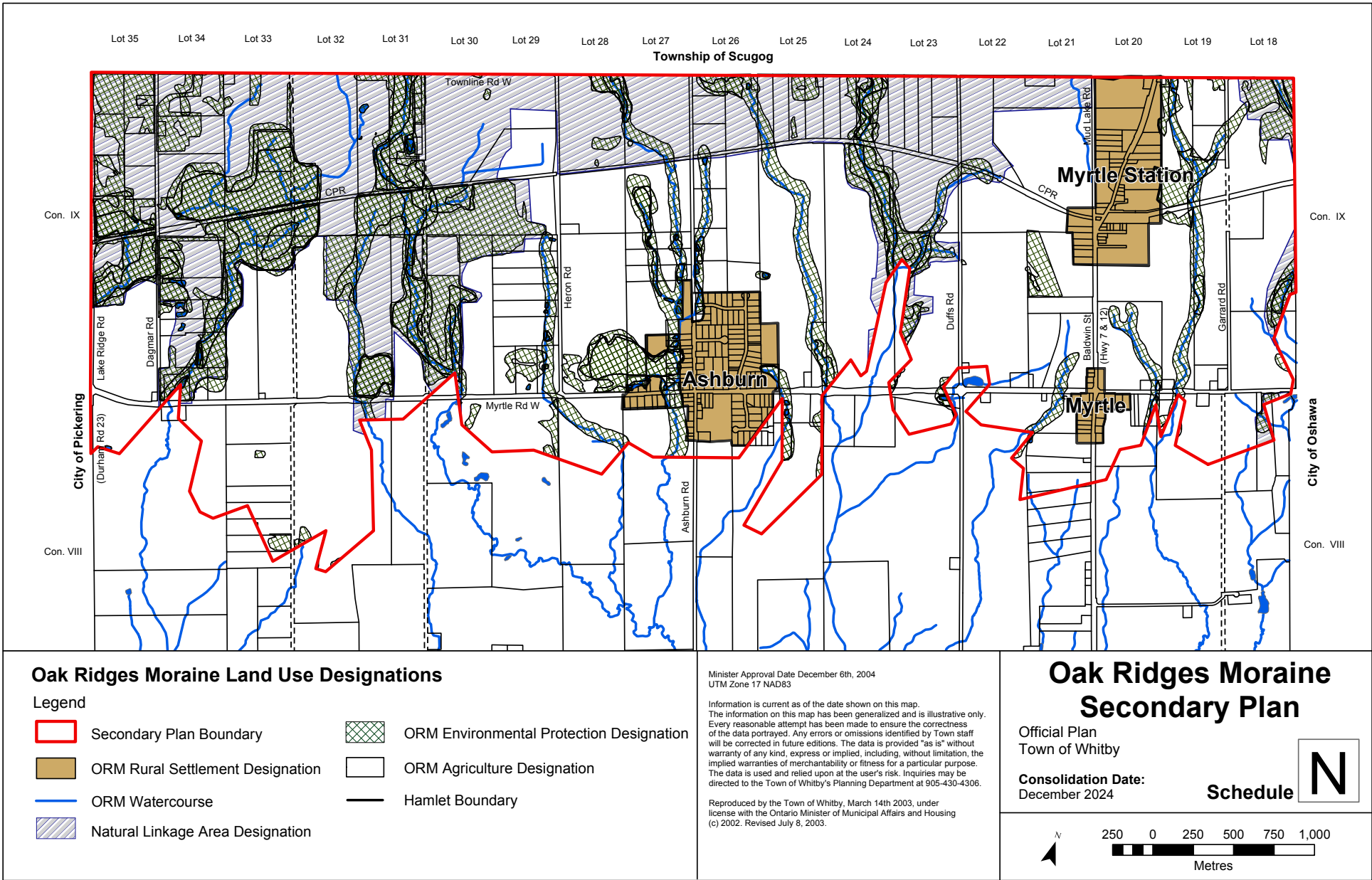
Taunton North Community  
Secondary Plan

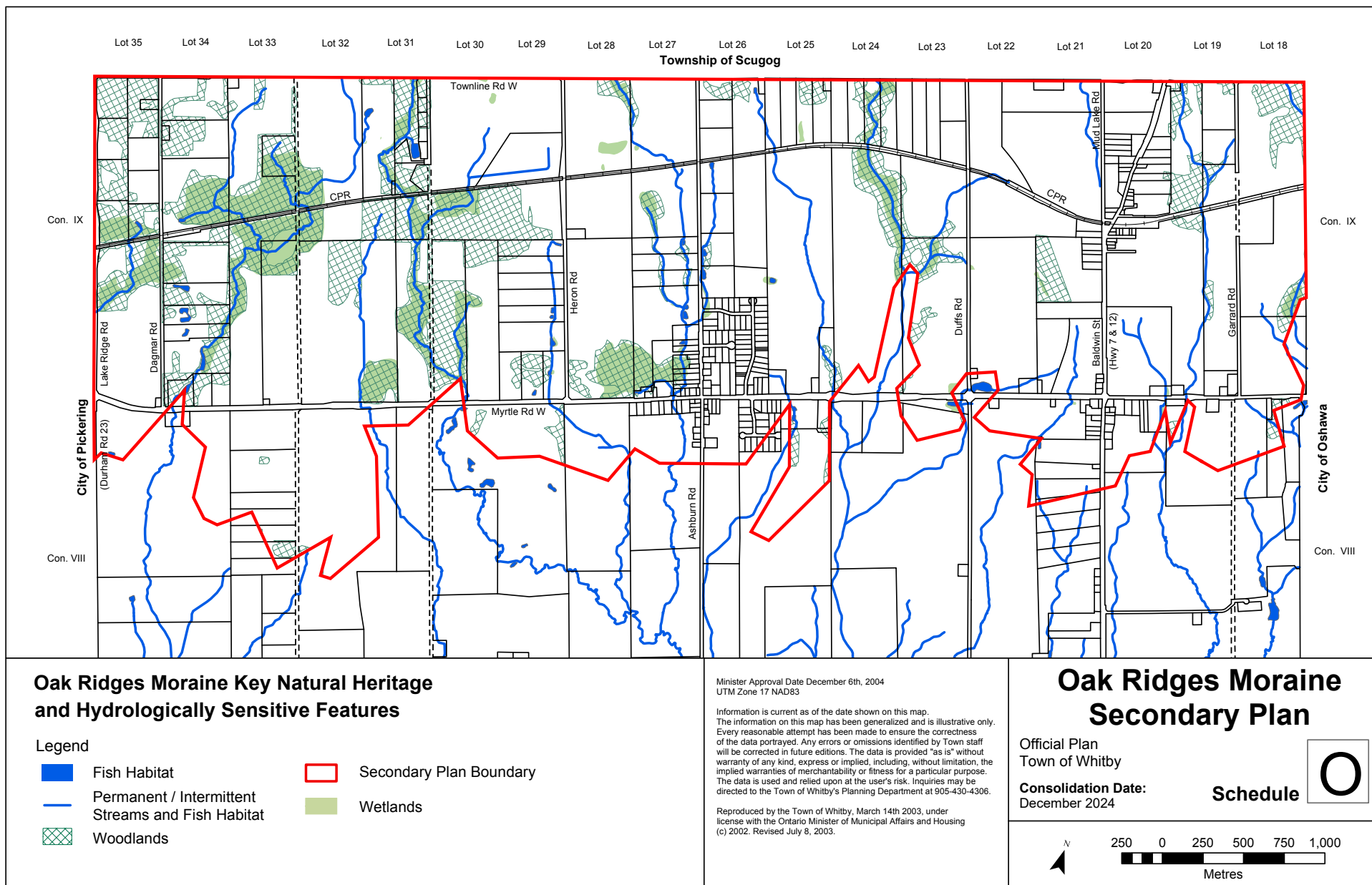
Official Plan  
Town of Whitby

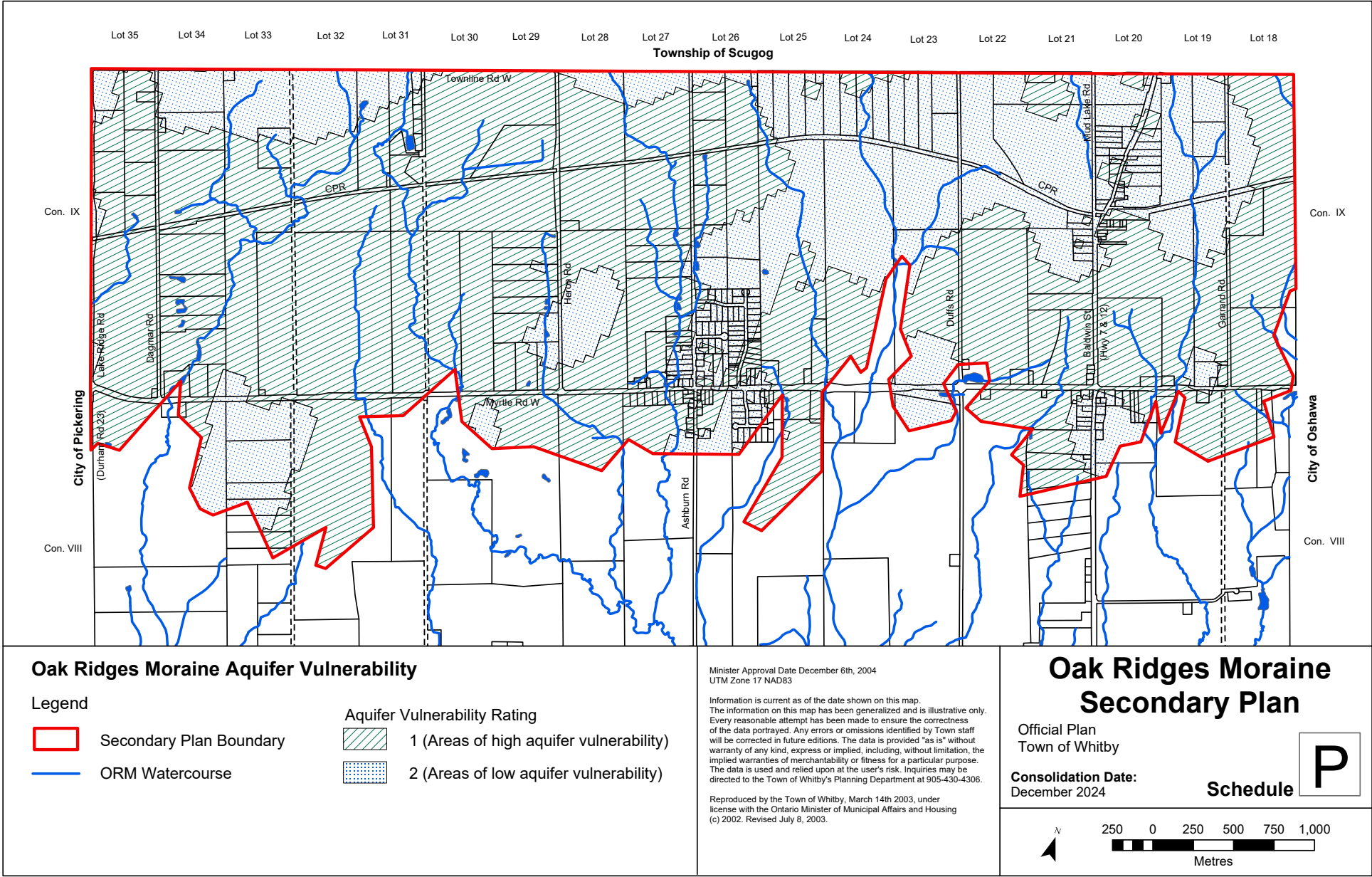
Schedule **M**



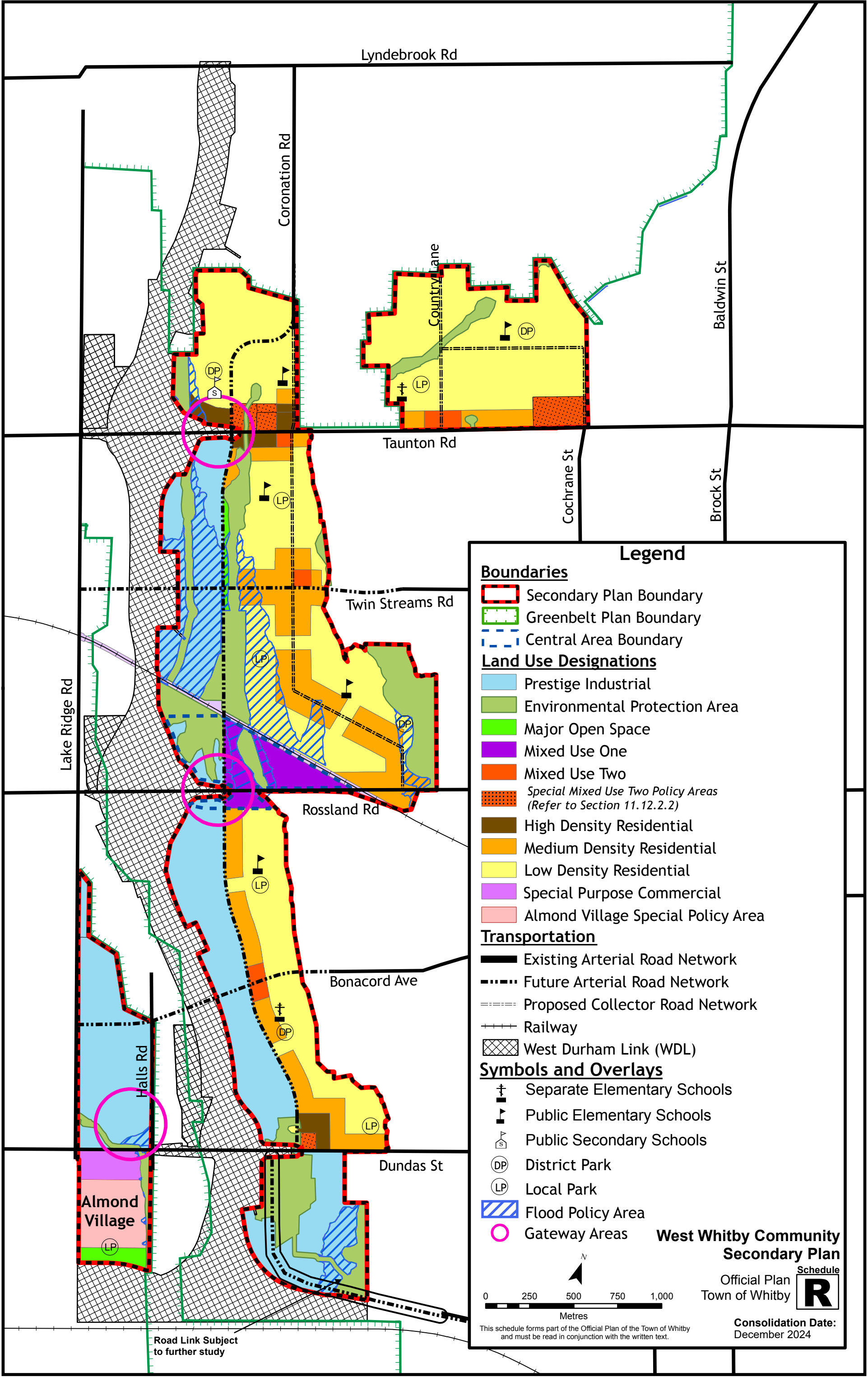
Consolidation Date:  
December 2024



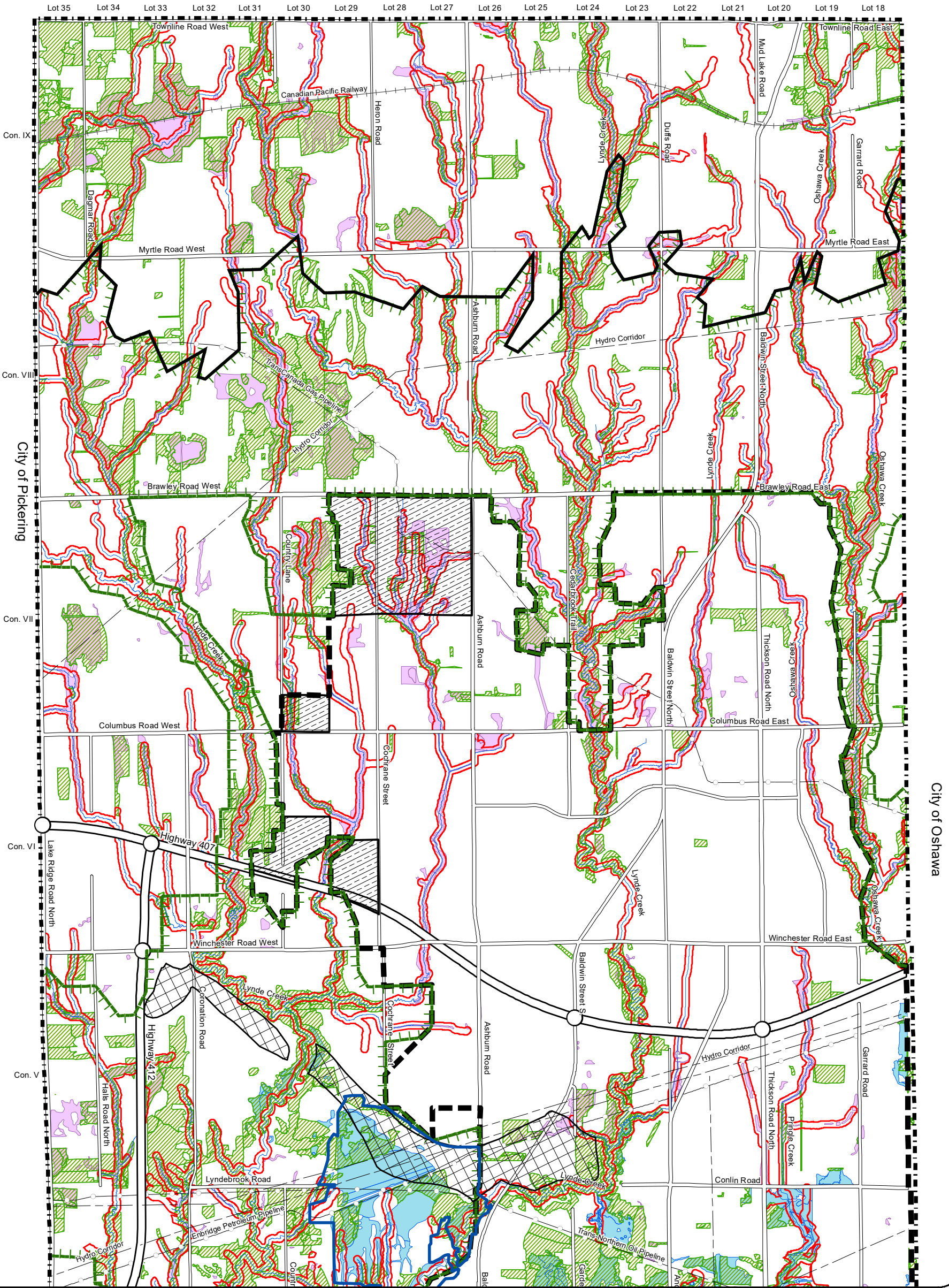








Township of Scugog



Legend

- 2031 Urban Area Boundary
- Greenbelt Protected Countryside Boundary
- Municipal Boundary
- Southern Boundary of Oak Ridges Moraine
- Watercourse
- Riparian Corridors
- Areas of Natural and Scientific Interest (ANSI) (LIO, 2016)
- High Potential Aggregate Resource Area (MNR, 2015)
- Sand and Gravel Resources - Secondary Significance
- Lands Subject to Durham Regional Official Plan Policy 14.13.7
- Provincially Significant Wetland (LIO, 2024)
- Wetland (Evaluated as Other / Not Evaluated) (LIO, 2024)
- Woodlands

Note: Some legend items may not appear on the displayed figure extent.

Scugog

Sheet 1 of 2

Sheet 2 of 2

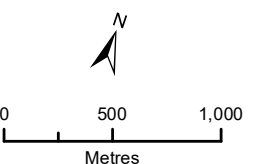
Lake Ontario

Official Plan - Town of Whitby

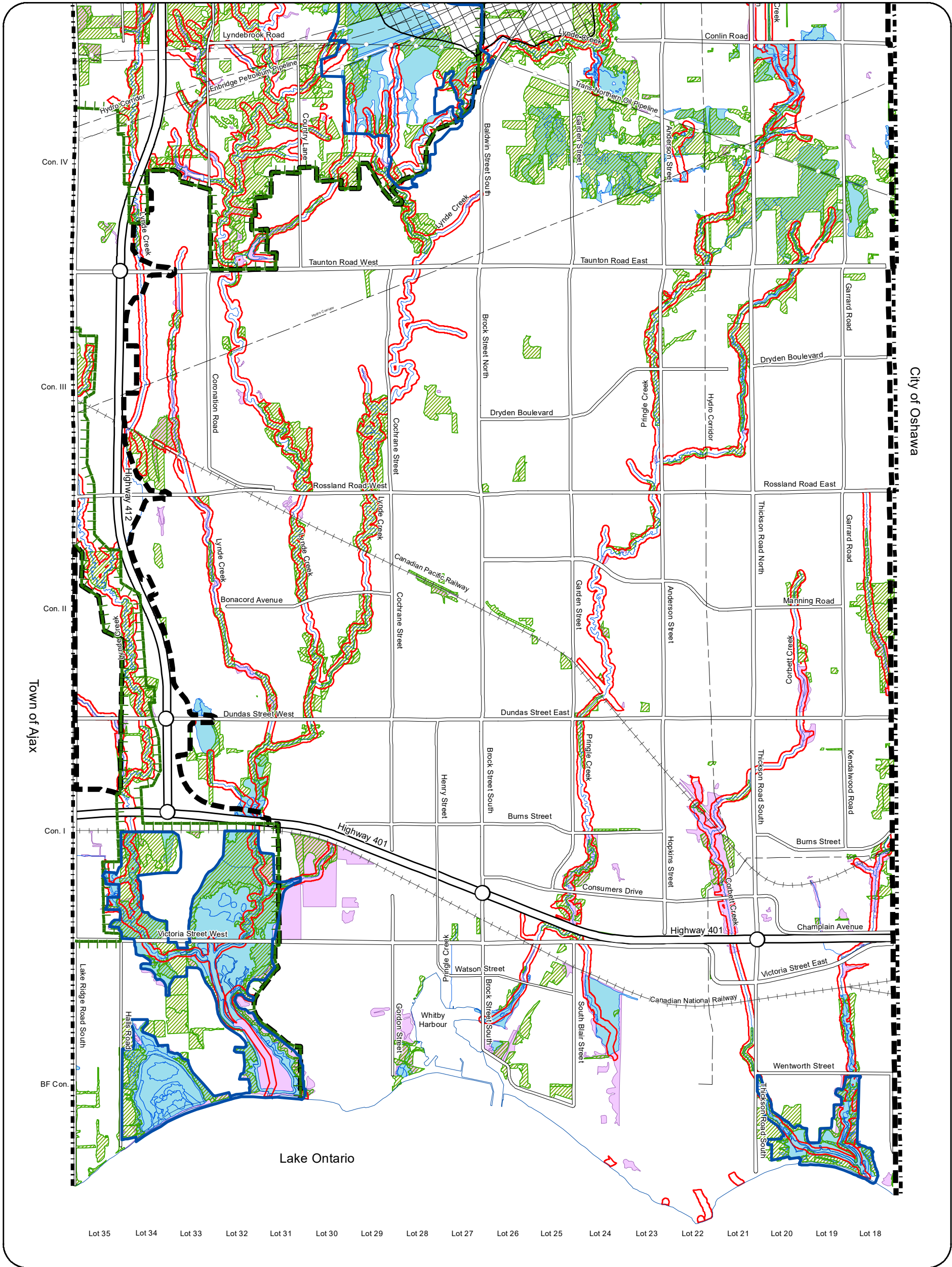
Technical Mapping of Environmental Elements

Appendix

1



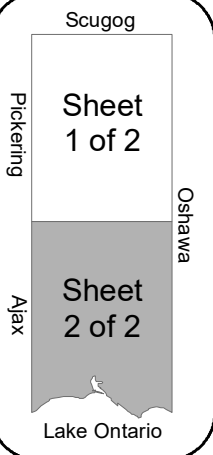
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Legend

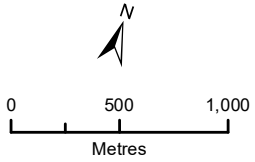
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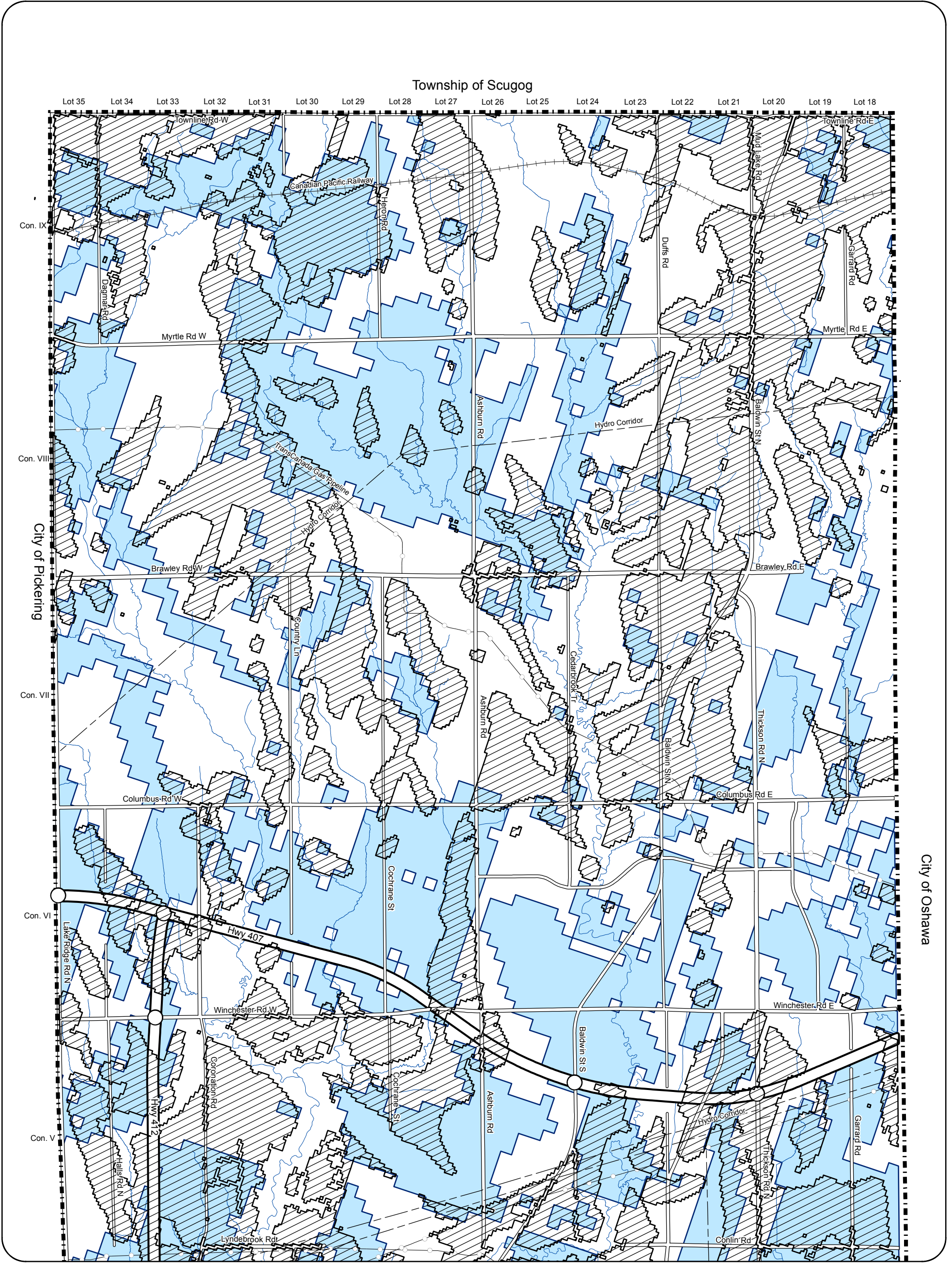


Official Plan - Town of Whitby  
Technical Mapping of  
Environmental  
Elements

Appendix  
1



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**Legend**

- Municipal Boundary
- Highly Vulnerable Aquifers (CLOCA, 2016)
- Significant Groundwater Recharge Areas (CLOCA, 2016)

Note: Some legend items may not appear on the displayed figure extent.

Scugog

Pickering

Sheet 1 of 2

Oshawa

Ajax

Sheet 2 of 2

Lake Ontario

Official Plan - Town of Whitby

Appendix

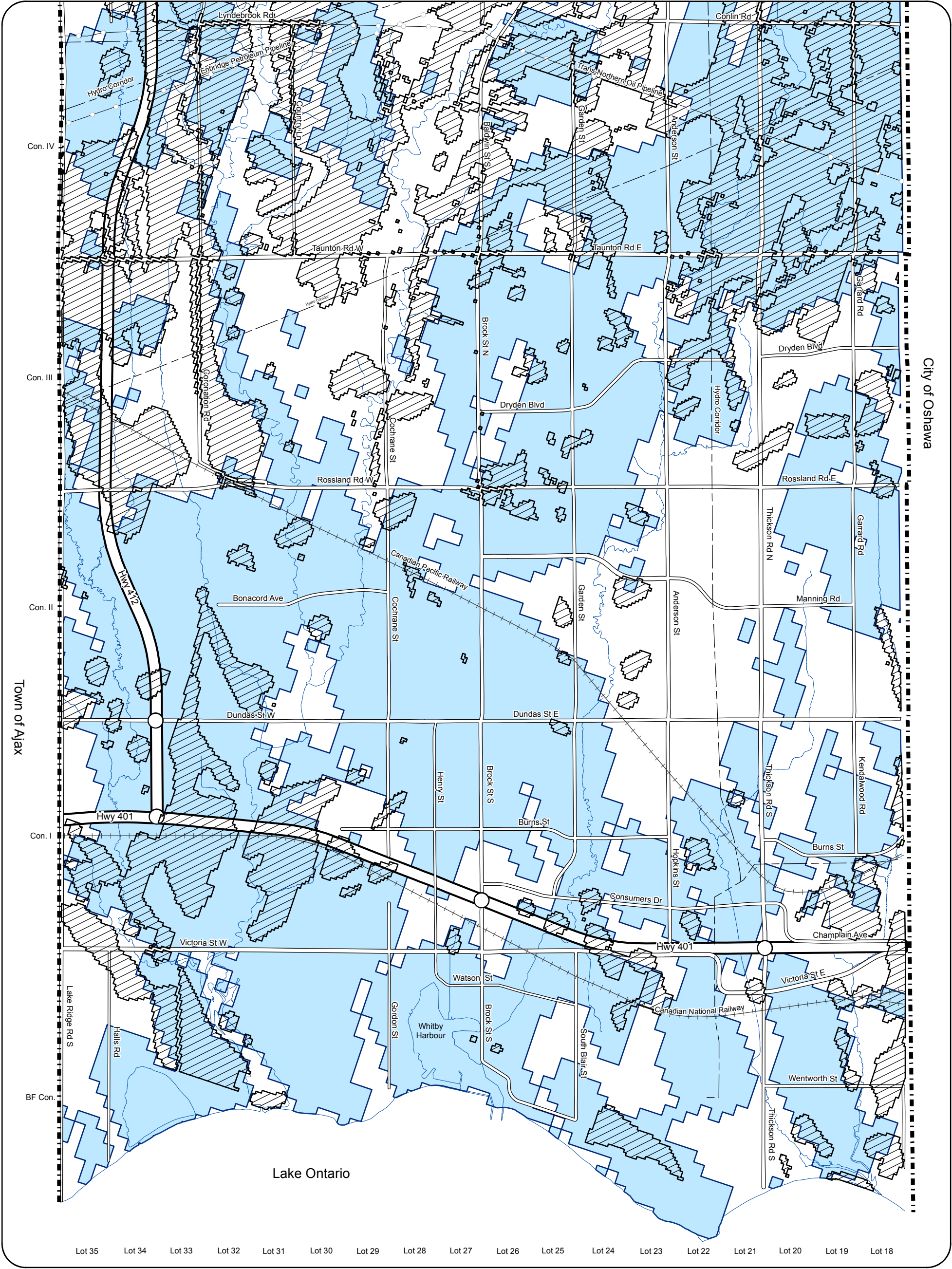
Water Resources

2

Consolidation Date:  
February 2024

0 500 1,000  
Metres

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**Legend**

- ■ Municipal Boundary
- Highly Vulnerable Aquifers (CLOCA, 2016)
- Significant Groundwater Recharge Areas (CLOCA, 2016)

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Scugog

Pickering

Oshawa

Ajax

Lake Ontario

Sheet 1 of 2

Sheet 2 of 2

Official Plan - Town of Whitby

Appendix

**2**

**Water Resources**

**Consolidation Date:**  
February 2024

0 500 1,000  
Metres

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